



# DeKalb County Government

Manuel J. Maloof Center  
1300 Commerce Drive  
Decatur, Georgia 30030

## Agenda Item

File ID: 2018-1913

Substitute

9/11/2018

Public Hearing: YES  NO

Department: Planning and Sustainability

### SUBJECT:

Commission District(s): 4 & 6

Rezone – Z-18-22138

Information Contact: Marian Eisenberg

Phone Number: (404) 371-371-4922

### PURPOSE:

To rezone property from R-75 (Residential Medium Lot-75) to RSM (Residential Small Lot Mix) for a residential development consisting of 44 lots for urban single-family detached homes and 39 attached townhome units at a density of 6.69 units per acre.

### NEED/IMPACT:

N.A.

### FISCAL IMPACT:

No cost to the County.

### RECOMMENDATION:

The zoning proposal is consistent with housing policy No. 9 of the 2035 Comprehensive Plan to “. . . provide a variety of housing opportunities and choices to better accommodate the needs of residents.” The proposed detached homes along Valley Brook Road will appear two-story in height maintaining consistency of building type with the single-family homes in the larger neighborhood. At 6.69 units per acre, and with the mixture of townhouses and single family detached dwellings, the proposed development provides a transition from the higher-density townhome and multifamily developments to the north and northeast to the adjoining single family properties to the south. The amount of Open Space exceeds the standards, taking into account the limitation of floodplain acreage. As a result of multiple community meetings, the plans include many amenities for use by the residents of the development, as well as the use by the surrounding community. The School District has indicated in its comments that there is adequate capacity for the number of elementary, middle, and high school students who are projected to live in the development. Therefore, the Department of Planning and Sustainability recommends “Approval” with conditions.

**RECOMMENDED CONDITIONS – 9/7/2018**  
**Z-18-22138**

**Rezone from R-75 (Residential Medium Lot-75) to RSM (Residential Small Lot Mix)**

1. The subject property shall be developed in accordance and full compliance with the conceptual layout shown on the Zoning Site Plan titled "Valley Brook Tract dated September 4, 2018, received by the department of Planning and Sustainability on September 10, 2018, and, a true and correct copy of which is attached as Exhibit "A" and incorporated herein by reference (the "Site Plan"), except for any modifications required to comply with and/or incorporate these and any other zoning conditions imposed and approved by the DeKalb County Board of Commissioners or applicable County, State, and Federal regulations, as and whenever amended. Modifications to conditions approved by the Board of Commissioners must comply with Section 27-7.3.10 of the DeKalb County Code.
2. The conceptual landscape plan dated September 6, 2018, received by the department of Planning and Sustainability on September 10, 2018. The landscape plans are conceptual and may change slightly due to engineering. To the extent possible, applicant shall protect existing large over-story trees in the landscaping strip, pocket parks and enhanced open space by using fencing around the roots to prevent grading and vehicles on the critical root zone. Sidewalks in the frontage park along Valley Brook Road shall be 6 feet wide and may meander to avoid trees. In consultation with the County Arborist, the developer shall plant over-story trees from the list in landscape plan in pocket parks, landscape strips and enhanced open space. The detention structure shall be screened with dense mixture of native species and screening trees. The final landscaping plan shall be approved by the County Arborist and reviewed by the District Commissioners. Any remaining tree recompense shall be planted within the vicinity of the development.
3. The Proposed Development shall consist of a maximum of 43 lots for urban single-family detached homes and 39 lots for attached, fee-simple townhome units.
4. The single-family homes along Valley Brook Road shall be limited to two stories. They shall face Valley Brook Road and be rear loaded. Single family homes shall not exceed 38 feet in height. Townhouses shall not exceed 40 feet in height. For end unit townhouses, fenestration shall be provided on the sides that address a street.
5. Residential architecture and building materials of the Proposed Development shall be developed in substantial compliance with the conceptual renderings provided to DeKalb County and attached as Exhibit "B". All dwelling units shall consist of a mixture of building materials that will include brick, stacked stone, hardy plank and hardy plank shake.
6. The owner or developer shall create and incorporate a mandatory perpetual homeowners association ("HOA") compliant in all respects with applicable Georgia law. The HOA

shall own and be responsible for the repair, upkeep, and maintenance of all common areas, open areas/spaces, enhanced open spaces, landscape strips (not less than twenty [20] feet wide), greenways, underground stormwater detention/retention areas or facilities, private streets, water, sewer, and stormwater systems, landscaping around detention areas, entrance area, and the like, contained within the Proposed Development. In conjunction with the creation of the mandatory HOA, the owner or developer shall create and record in the Office of the Clerk of the Superior Court of DeKalb County and enforce protective covenants running with the land which shall contain covenants, rules, and regulations that shall be compliant in all respects with and incorporate these Zoning Conditions and shall be enforced and enforceable by the mandatory HOA to the fullest extent permitted by Georgia law (collectively, the "Protective Covenants").

7. A six (6) foot sidewalk will be installed in lieu of the bike lane or the ten (10) foot multi-use path, as per the meeting with Transportation Division.
8. The proposed walking trail shall be located as shown on the Site Plan. A minimum of three (3) benches and a minimum of two (2) trash receptacles shall be provided along the walking trails. The walking trails will not be lighted and a sign will be posted that the walking trail shall be closed dusk till dawn.
9. Use or operation of any gas-powered motorized vehicles, except for maintenance equipment, shall be prohibited on any walking trail or in any open space, enhanced open space, landscape strip, pocket park, or greenway shown on the final plat.
10. A twenty (20) foot wide landscape strip shall be established as shown on the Site Plan. A solid privacy fence not less than six (6) feet in height shall be installed within the landscape strip, three (3) feet from the exterior property line of the Proposed Development. If the fence has a finished side, it shall face the lots that adjoin the Proposed Development.
11. There shall be a minimum of three (3) pocket parks. Each pocket park shall have a minimum of one bench that provides seating and minimum of one trash receptacle. Additionally, the owner, developer, or HOA, as applicable shall provide a pet refuse station on both ends of the walking trail and in each pocket park. Maintenance and upkeep of the pet refuse stations shall be the sole responsibility of the HOA.
12. All sidewalks, pocket parks, walking trails, and greenways in the Proposed Development shall be open to public use for the larger community. Streets and sidewalks within the Proposed Development that are not dedicated to public use will be subject to an easement for public use by vehicular or pedestrian traffic, as appropriate. All alleys shall only be for private use by residents of the Proposed Development.
13. Outdoor lighting shall comply with Section 27-5.6.1 of the DeKalb County Code. All exterior lighting shall be screened or shielded to minimize glare, keep light inside the development, and minimize light spillover.
14. The pedestrian crossings across the internal private drives shown on the Site Plan shall be striped to slow traffic and facilitate safe crossings for pedestrians. Pedestrian crossings

across the primary ingress and egress points from Valley Brook Drive may be striped, or consist of a pavement in a contrasting color or texture.

15. The owner, developer, or HOA, as applicable shall design, construct, operate and maintain a stormwater management system that complies with all applicable laws and statutes.
16. No more than fifty (50%) percent of the actual open space may consist of floodplain, wetlands, steep slopes, streams and buffers.
17. Best Management Practices shall be followed with the design and implementation of an erosion and sedimentation control plan during construction, as per the Manual for Erosion and Sedimentation Control in Georgia, subject to approval by the DeKalb County Development Services Division.
18. The subdivision sign shall be a maximum of six feet high and shall have a brick- and/or stone-finished base, and may have accents of other materials used in the houses.
19. Subject to the design requirements of the County Transportation Department, the applicant shall install a marked crosswalk with a rectangular rapid-flashing beacon at Lowrance Drive (RRFB) connected to AC power that meets Federal Highway Administration requirements. ADA ramps are to be installed at both ends of the crosswalk.
20. There shall be a 24-hour contact and telephone number during demolition and construction. This 24-hour contact and telephone number shall be listed on all permit materials submitted to DeKalb County.
21. All utilities shall be installed underground.
22. All construction and employee vehicles and equipment will be parked and otherwise located on, the Subject Property during development of infrastructure and construction of units and shall not be parked on or along Ford Place or Milton Street. This restriction does not apply during demolition and removal of said roads from the subject property.
23. The approval of this rezoning application by the Board of Commissioners has no bearing on other approvals by the Zoning Board of Appeals or other authority, whose decision should be based on the merits of the application before said authority.

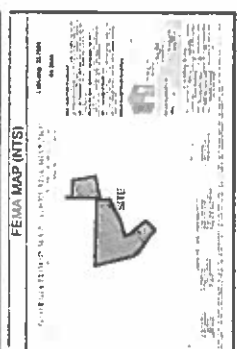
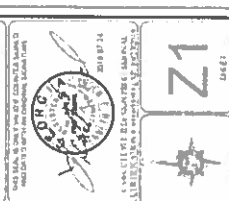
**PLANNERS AND ENGINEERS COLLABORATIVE**  
 WE PROVIDE SOLUTIONS™  
 ARCHITECTURE & LANDSCAPE ARCHITECTURE & CIVIL ENGINEERING & SURVEYING  
 350 HICKORY CREEK • PLACER COUNTY, CALIF. 95662 • TEL: 530-471-1111

**REVISIONS:**

NO.	DATE	DESCRIPTION
1	1/11/18	INITIAL DESIGN
2	1/11/18	REVISED PER COMMENTS
3	1/11/18	REVISED PER COMMENTS
4	1/11/18	REVISED PER COMMENTS
5	1/11/18	REVISED PER COMMENTS
6	1/11/18	REVISED PER COMMENTS
7	1/11/18	REVISED PER COMMENTS
8	1/11/18	REVISED PER COMMENTS
9	1/11/18	REVISED PER COMMENTS
10	1/11/18	REVISED PER COMMENTS

**ZONING SITE PLAN**

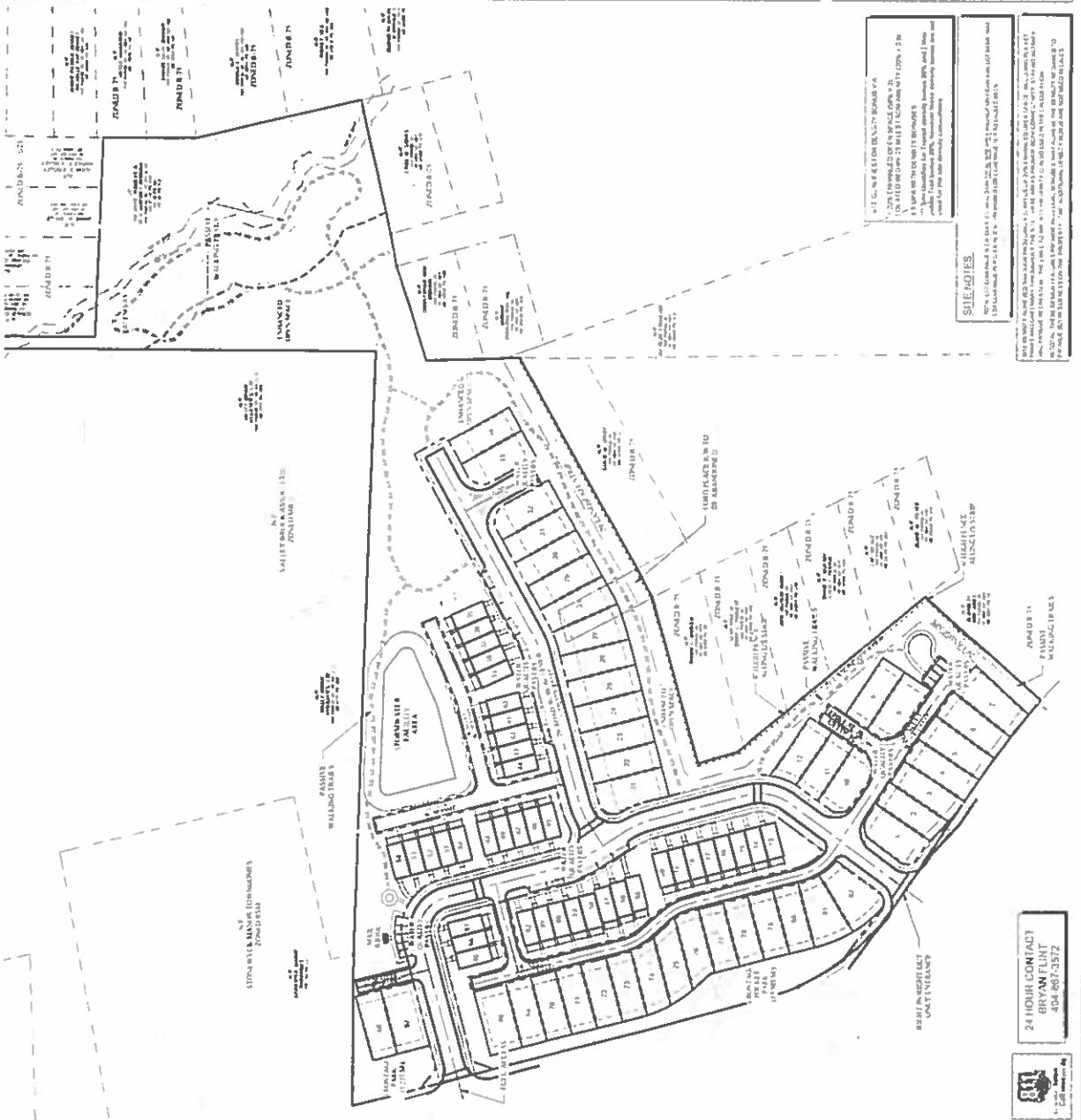
SCALE: 1" = 60'  
 DATE: FEBRUARY 5, 2018  
 PROJECT: FORD PLACE



**SITE DATA:**

SITE AREA: 12.446 ACRES  
 NET LOT AREA: 0.736 ACRES

ZONING: R-7.5  
 COUNTY: PLACER COUNTY  
 DISTRICT: 101-10  
 BASE ZONING: R-7.5  
 BASE DENSITY: 10 UNITS PER ACRE  
 BASE MINIMUM LOT AREA: 4,500 SQ. FT.  
 BASE MINIMUM FRONT YARD SETBACK: 25 FEET  
 BASE MINIMUM SIDE YARD SETBACK: 5 FEET  
 BASE MINIMUM REAR YARD SETBACK: 5 FEET  
 BASE MINIMUM FRONT PORCH DEPTH: 6 FEET  
 BASE MINIMUM FRONT PORCH SETBACK: 5 FEET  
 BASE MINIMUM FRONT PORCH WIDTH: 8 FEET  
 BASE MINIMUM FRONT PORCH SETBACK FROM DRIVE: 5 FEET  
 BASE MINIMUM FRONT PORCH SETBACK FROM SIDEWALK: 5 FEET  
 BASE MINIMUM FRONT PORCH SETBACK FROM STREET: 5 FEET  
 BASE MINIMUM FRONT PORCH SETBACK FROM DRIVE: 5 FEET  
 BASE MINIMUM FRONT PORCH SETBACK FROM SIDEWALK: 5 FEET  
 BASE MINIMUM FRONT PORCH SETBACK FROM STREET: 5 FEET



**SITE NOTES:**

1. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.

2. THE PROPERTY IS SUBJECT TO A EASEMENT FOR THE INSTALLATION AND MAINTENANCE OF A WATER MAIN AND SEWER MAIN UNDER THE ROADWAY.

3. THE PROPERTY IS SUBJECT TO A EASEMENT FOR THE INSTALLATION AND MAINTENANCE OF A WATER MAIN AND SEWER MAIN UNDER THE ROADWAY.

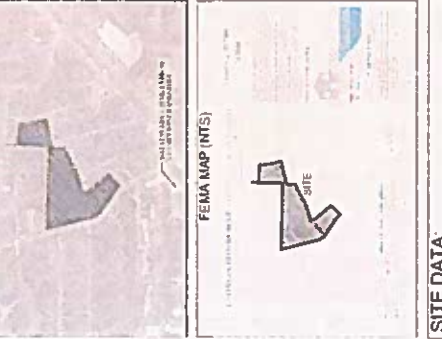
24 HOUR CONTACT  
 BRAYAN BLUNT  
 530-887-3572



Exhibit A

17  
 SHEET

SITE LOCATION MAP (NTS)



FEMA MAP (NTS)



NO.	DATE	DESCRIPTION
1	10/29/18	PRELIMINARY
2	11/14/18	REVISED PER CITY COMMENTS
3	11/14/18	REVISED PER CITY COMMENTS
4	11/14/18	REVISED PER CITY COMMENTS
5	11/14/18	REVISED PER CITY COMMENTS
6	11/14/18	REVISED PER CITY COMMENTS
7	11/14/18	REVISED PER CITY COMMENTS
8	11/14/18	REVISED PER CITY COMMENTS
9	11/14/18	REVISED PER CITY COMMENTS
10	11/14/18	REVISED PER CITY COMMENTS

**SITE DATA:**  
 SITE NO. 1022  
 MAP AREA 1.18 ACRES  
 TOTAL LOT AREA 118 ACRES  
 B-1 ZONING  
 1.00 ACRES  
 31 DETACHED URBAN SINGLE FAMILY UNITS  
 27 ATTACHED TOWNHOMES  
 TOTAL RESIDENTIAL UNITS PROPOSED 58 UNITS  
 INCLUDING 10 TOWNHOMES  
 PROPOSED TO BE EXCLUDED FROM THE 1.00 ACRE SUBDIVISION  
 TO MAINTAIN THE 100% RESIDENTIAL CHARACTER OF THE NEIGHBORHOOD

MINIMUM LOT WIDTH (IDEA) 30 FEET  
 MINIMUM LOT WIDTH (DEVELOPER) 30 FEET  
 MINIMUM LOT AREA 5,280 SQ. FT.  
 MAXIMUM LOT COVERAGE 40%  
 MAXIMUM LOT COVERABLE 48.96%  
 MINIMUM SETBACKS 10 FEET  
 FRONT SETBACK 10 FEET  
 SIDE SETBACK 10 FEET  
 REAR SETBACK 10 FEET  
 MINIMUM DRIVEWAY WIDTH (IDEA) 12 FEET  
 MINIMUM DRIVEWAY WIDTH (DEVELOPER) 12 FEET  
 MINIMUM DRIVEWAY WIDTH (DEVELOPER) 12 FEET  
 MINIMUM DRIVEWAY WIDTH (DEVELOPER) 12 FEET  
 MINIMUM DRIVEWAY WIDTH (DEVELOPER) 12 FEET  
 MINIMUM DRIVEWAY WIDTH (DEVELOPER) 12 FEET

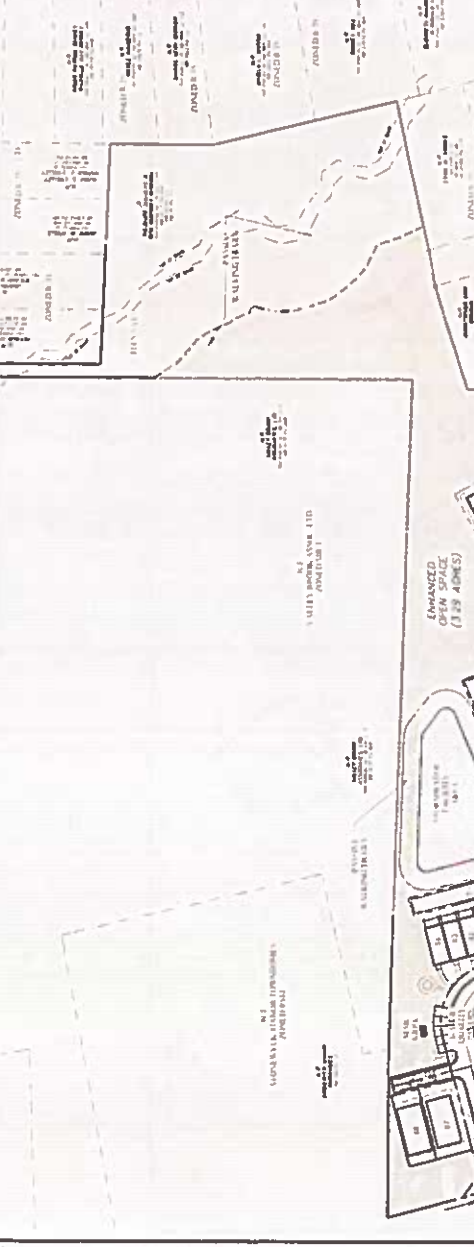
**ENHANCED OPEN SPACE EXHIBIT**  
 SCALE 1" = 60'  
 DATE FEBRUARY 2018  
 PROJECT 17180.00  
 HANDED BY [Signature]  
 DATE 02/07/2018  
 PROJECT 17180.00

ENHANCED OPEN SPACE SUMMARY	ENHANCED OPEN SPACE PROVIDED FOR BONUS	ENHANCED OPEN SPACE PROVIDED FOR BONUS
2.01 ACRES	2.87 AC (102%)	3.29 AC (149%)
5.28 ACRES	24,720 SF	28,224 SF
2.76 ACRES	118,800 SF	135,360 SF

**PARKING SUMMARY:**  
 118 SPACES  
 118 SPACES  
 118 SPACES  
 58 SPACES  
 118 SPACES  
 118 SPACES  
 74 SPACES  
 118 SPACES

**SITE NOTES:**  
 1) THE PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF HARTFORD ORDINANCES AND REGULATIONS.  
 2) THE PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF HARTFORD ORDINANCES AND REGULATIONS.  
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**RECEIVED**  
**SEP 10 2018**  
**By MDC**



**24 HOUR CONTACT**  
**BRYAN FLINT**  
 554-867-3572



INTERNAL POCKET  
PARK 'A' & MAIL KIOSK  
(SHEET 3)

FRONTAGE PARK 'A'  
(SHEET 2)

PASSIVE WALKING TRAIL  
THROUGH WOODED AREA

INTERNAL POCKET  
PARK 'B' & DOG PARK  
(SHEET 4)

PASSIVE  
WALKING TRAIL

PASSIVE  
WALKING TRAIL

INTERNAL POCKET PARK 'C'  
(SHEET 5)

PASSIVE  
WALKING TRAIL

**TYPICAL TREE LIST**

- ALLEE ELM
- ARNOLD TULIP POPLAR
- BALD CYPRESS
- BELLE TOWER SUGAR MAPLE
- BLUE ATLAS CEDAR
- BOSQUE ELM
- COLUNVAR RED MAPLE
- DAWN REDWOOD
- LEGACY SUGAR MAPLE
- NUTTALL OAK
- OCTOBER GLORY RED MAPLE
- OVERCUP OAK
- PRINCETON ELM
- SLENDER SILHOUETTE SWEETGUM
- TREE FORM HORNBEAM
- TRIDENT MAPLE
- WILLOW OAK

*Red  
9/10/18  
mde*

VALLEY BROOK ROAD  
(VARIABLE RIGHT OF WAY)

FRONTAGE PARK 'B'  
(SHEET 2)

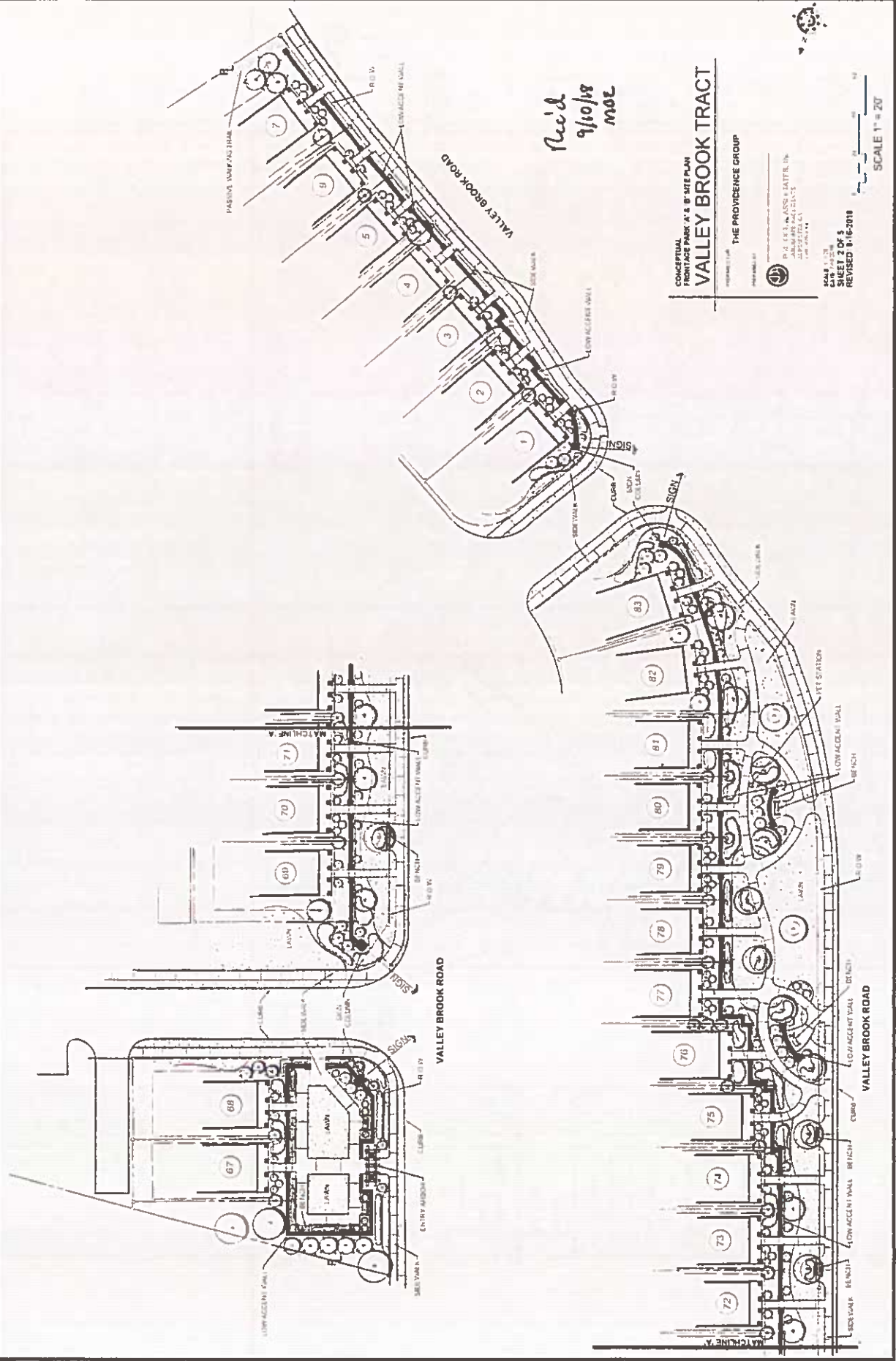
CONCEPTUAL  
SITE DEVELOPMENT PLAN  
**VALLEY BROOK TRACT**

THE PROVIDENCE GROUP



DATE: 11-15-17  
SHEET 1 OF 5  
REVISED 8-27-2018  
REVISED 8-27-2018  
REVISED 8-4-2018





*Revised  
9/10/18  
MOC*

CONCEPTUAL FRONTAGE PARK 'A' & 'B' SITE PLAN  
**VALLEY BROOK TRACT**

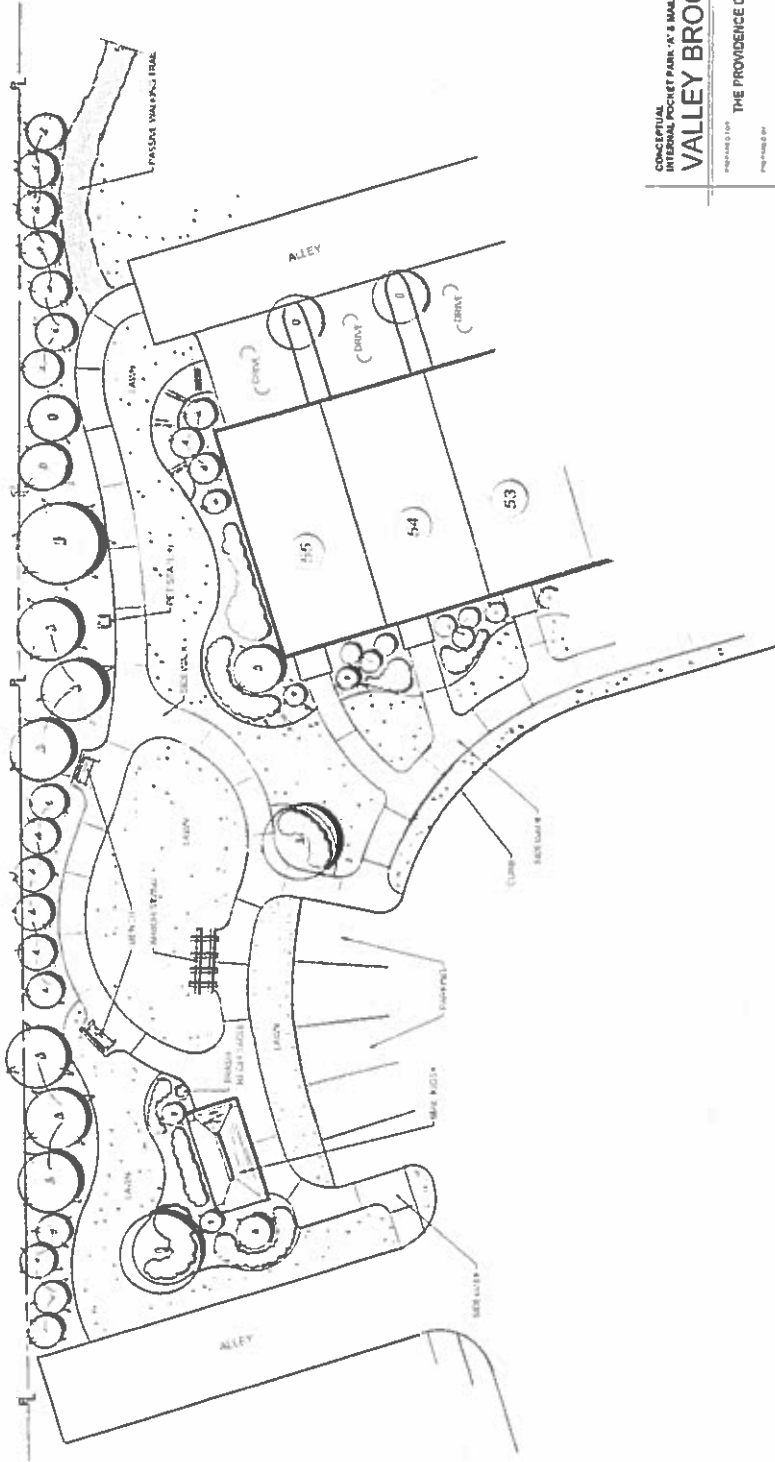
THE PROVIDENCE GROUP

11  
 P. J. CHAI, ARCHITECT, INC.  
 1000 WEST 10TH AVENUE  
 SUITE 1000  
 DENVER, CO 80202  
 TEL: 303.733.1111  
 FAX: 303.733.1112  
 WWW.PJCHAI.COM

DATE: 11/1/17  
 DRAWN BY: JAC  
 CHECKED BY: JAC  
**SHEET 2 OF 3**  
 REVISED: 8/16/2018

SCALE: 1" = 20'





Red  
9/10/18  
msc

CONCEPTUAL  
LANDSCAPE ARCHITECTURE SITE PLAN  
**VALLEY BROOK TRACT**

THE PROVIDENCE GROUP

CLIVE A. ASSOCIATES INC.  
LANDSCAPE ARCHITECTS  
100 WEST 11TH AVENUE  
DENVER, CO 80202



SCALE 1" = 10'  
DATE 2/20/18  
SHEET 3 OF 3  
REVISED 8-18-2018



Revised  
9/10/18  
MGE

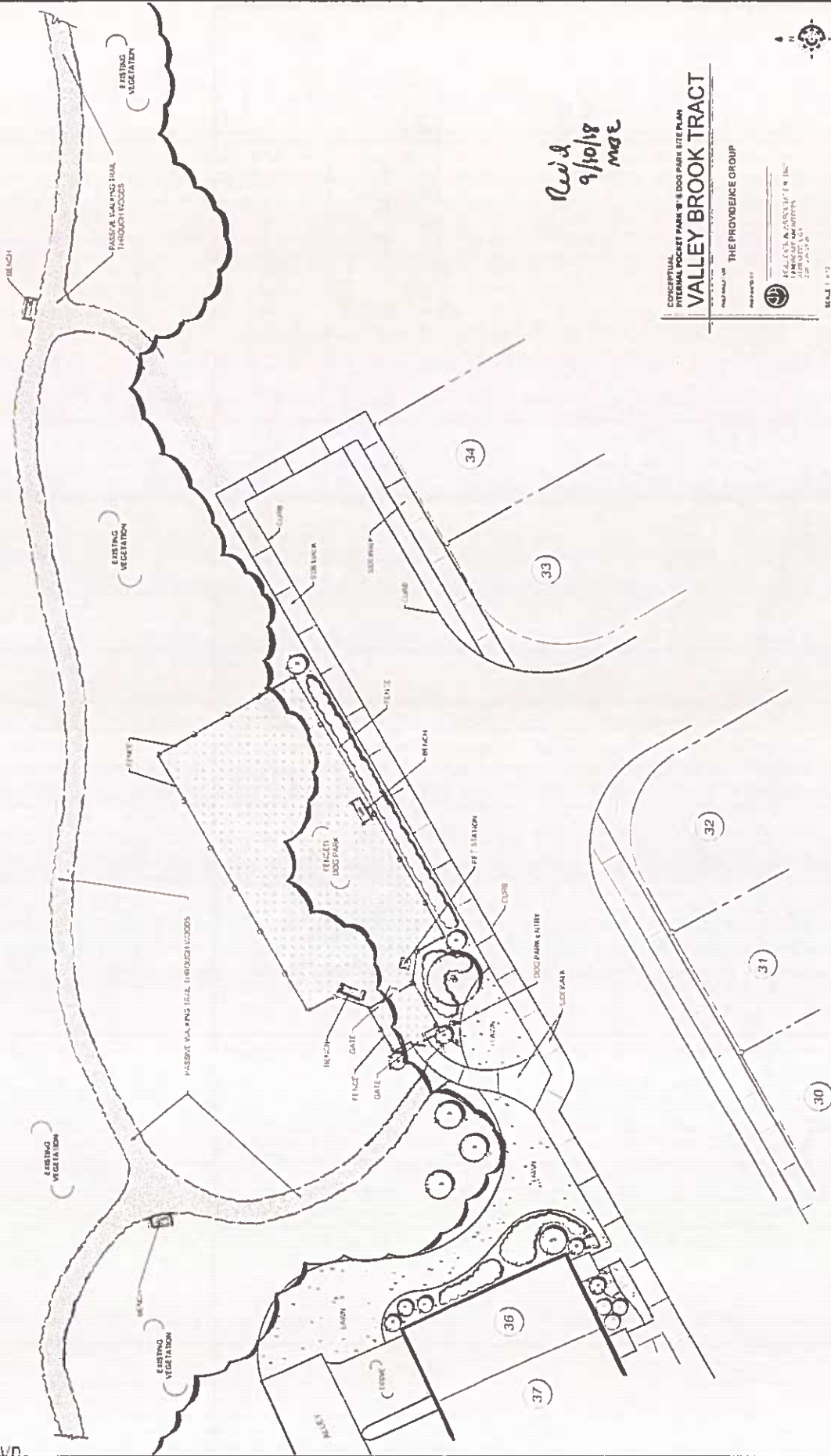
# CONCEPTUAL INTERNAL POCKET PARK & DOG PARK SITE PLAN VALLEY BROOK TRACT

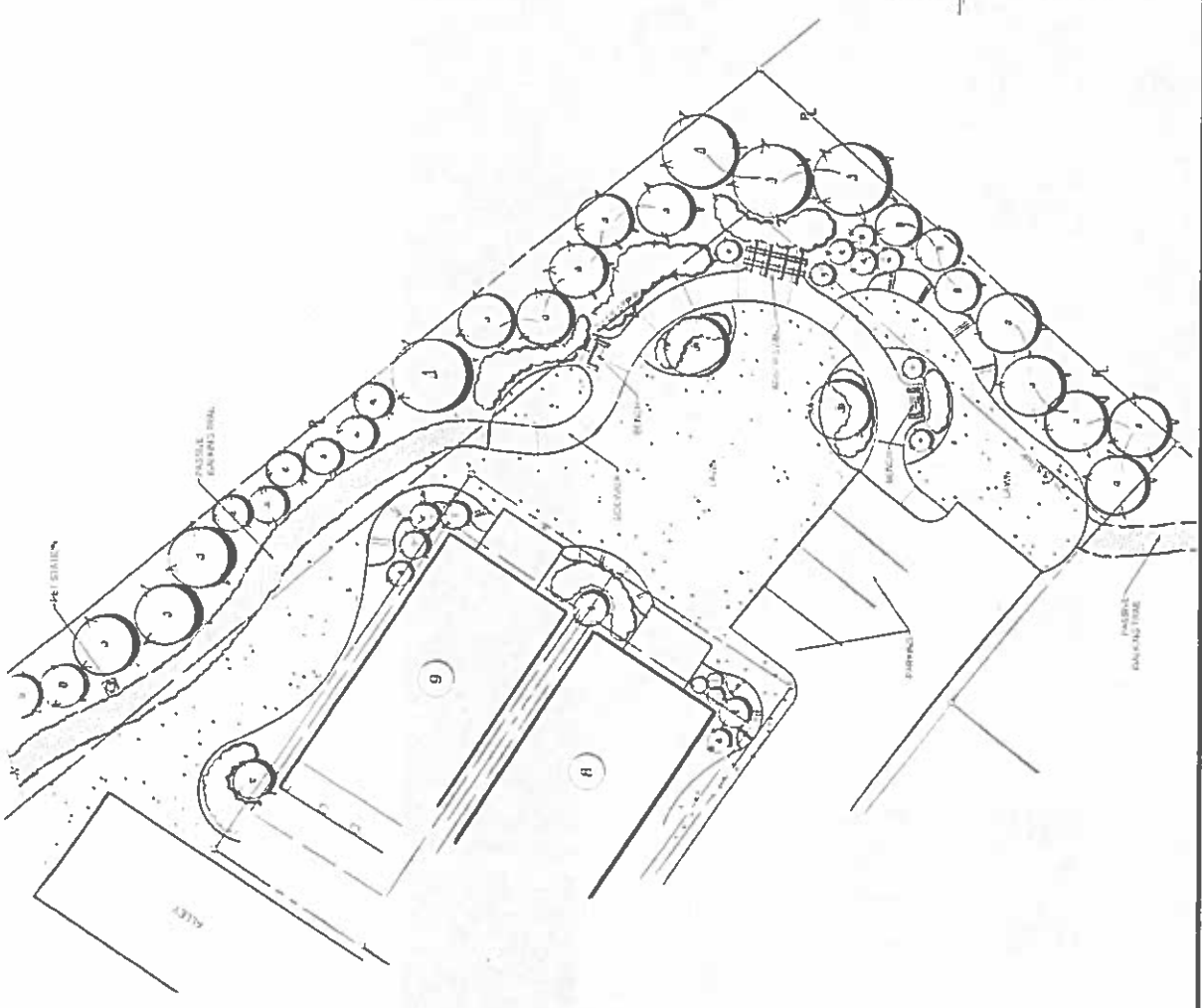
THE PROVIDENCE GROUP

DESIGNED BY  
THE PROVIDENCE GROUP  
1000 WEST 10TH AVENUE  
DENVER, CO 80202  
TEL: 303.733.1100  
WWW.PROVIDENCEGROUP.COM



SCALE 1" = 10'  
SHEET 4 OF 5  
REVISED 8-16-2018





*Revised  
9/10/18  
MSE*

CONCEPTUAL  
LANDSCAPE ARCHITECTURE PLAN  
**VALLEY BROOK TRACT**

THE PROVIDENCE GROUP

1000 WEST 10TH AVENUE  
SUITE 100  
DENVER, CO 80202  
TEL: 303.733.1100  
WWW.PROVIDENCEGROUP.COM



SCALE 1" = 10'

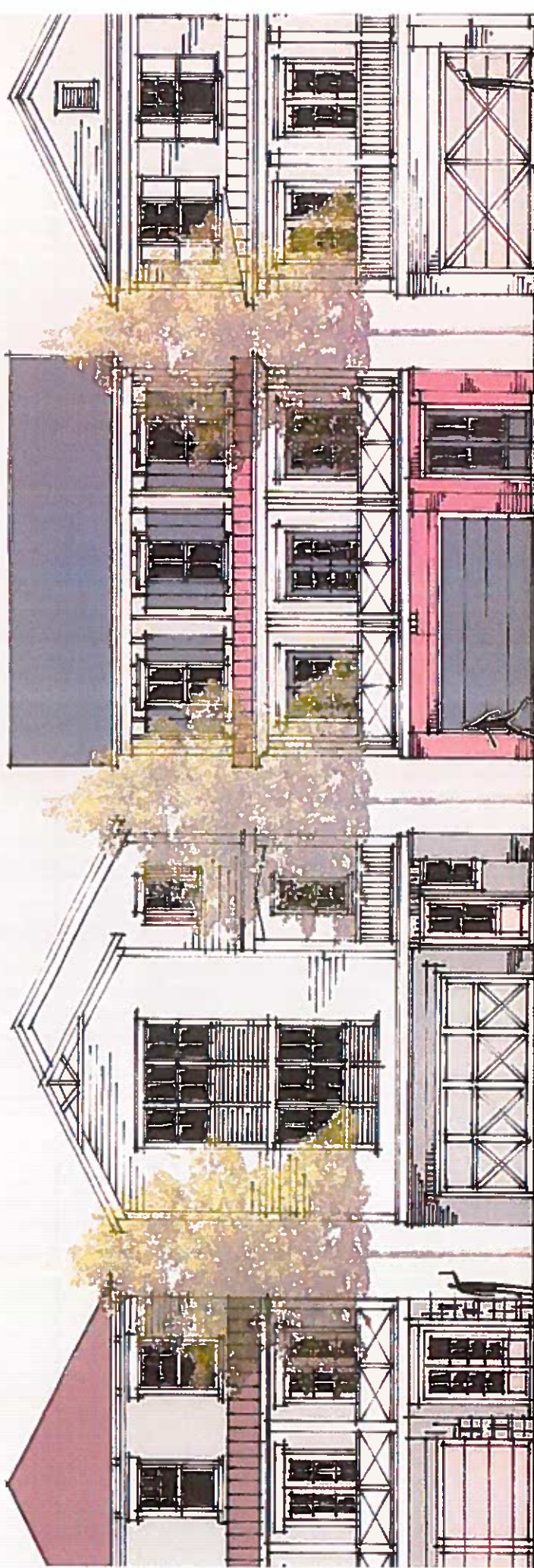
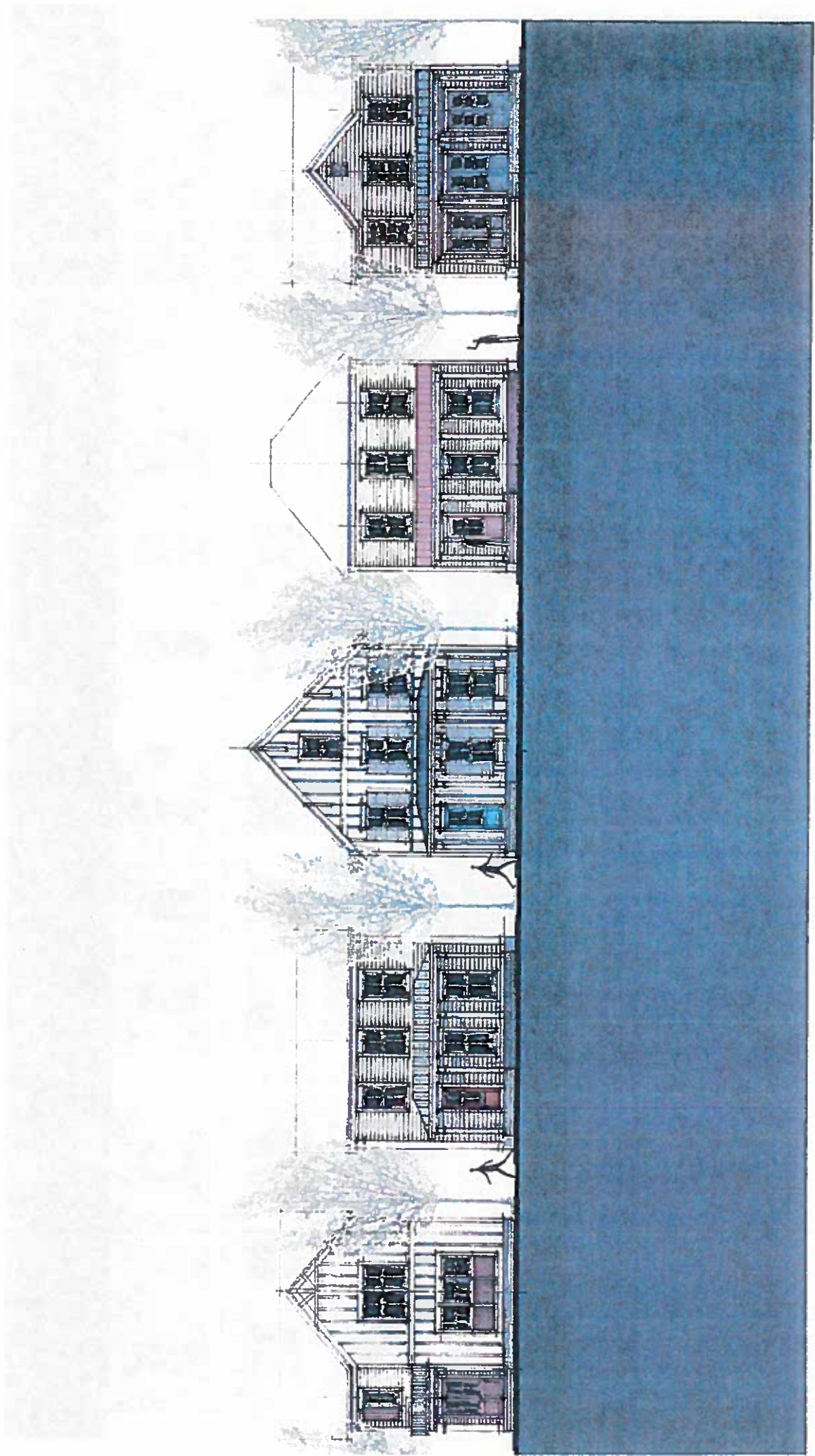
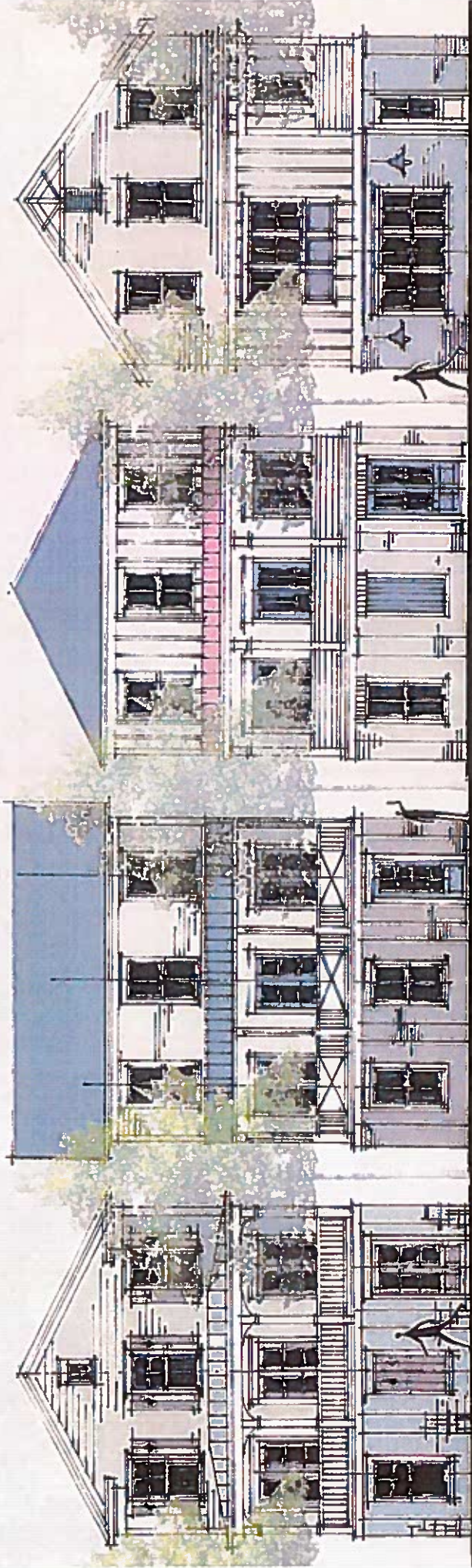


Exhibit B

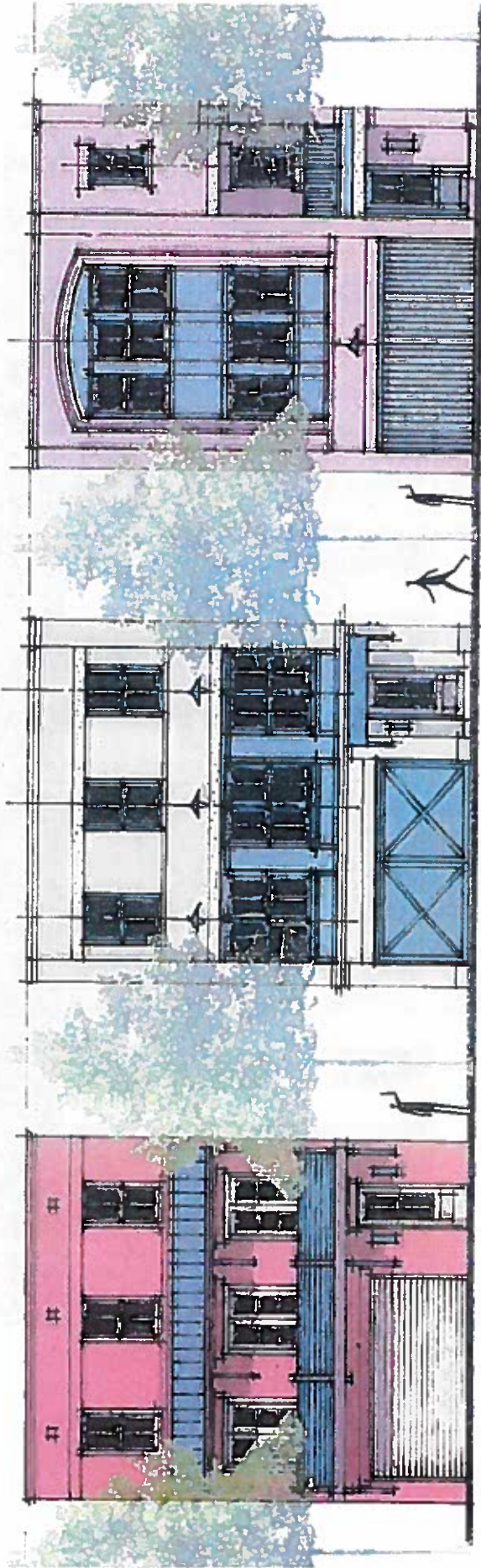
2010'18 RCVD





PIE (B RVD)

Exhibit B



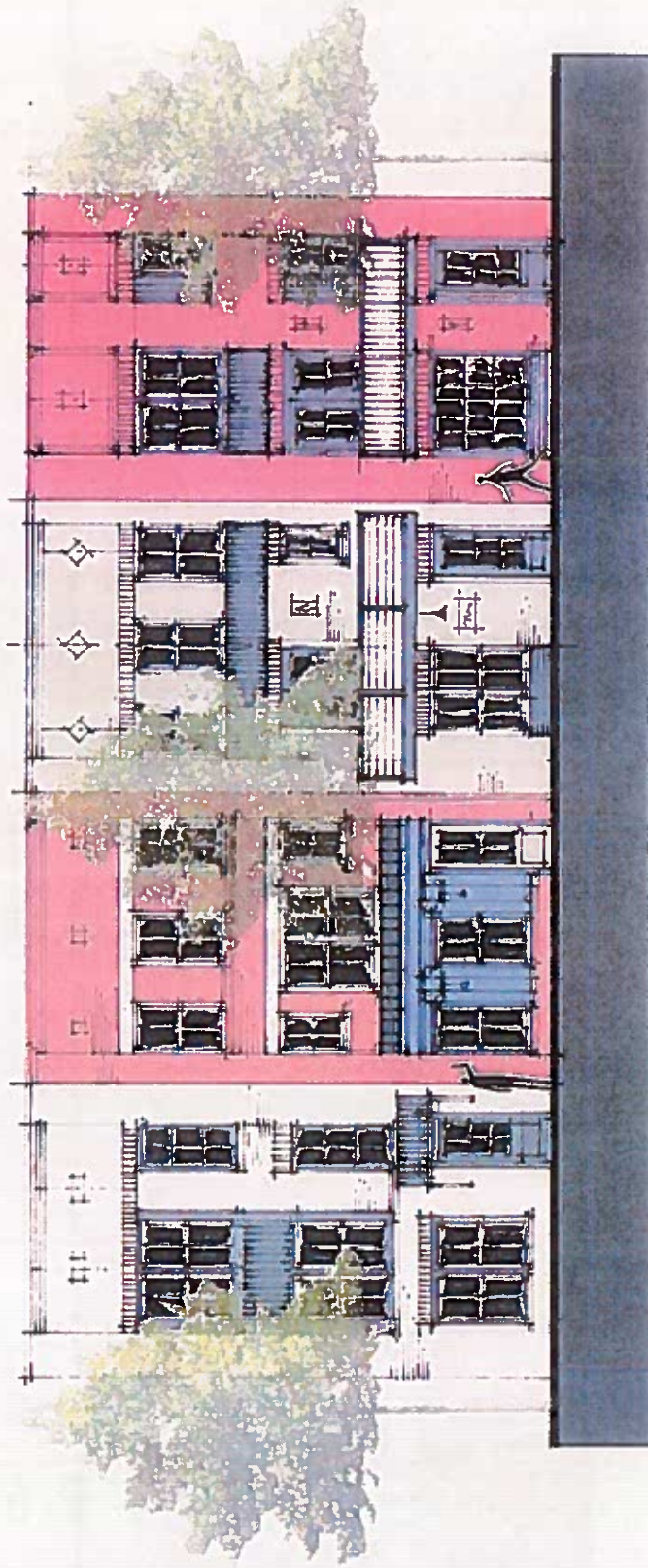
WEST - MERKANTILE

EAST - MERKANTILE

EAST - MERKANTILE

Exhibit B

P1018 RCVD



CAUSE #4 - NEGOTIABLE

Exhibit B



910 18 ECVD



Exhibit B

