

TENANT NAME
Lullwater Wharf, LLC

1534 North Decatur Road
Atlanta, GA 30307

COVER SHEET

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201833
date
9/13/2018

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8/24/2018 Review Set
9/13/2018 COA Set

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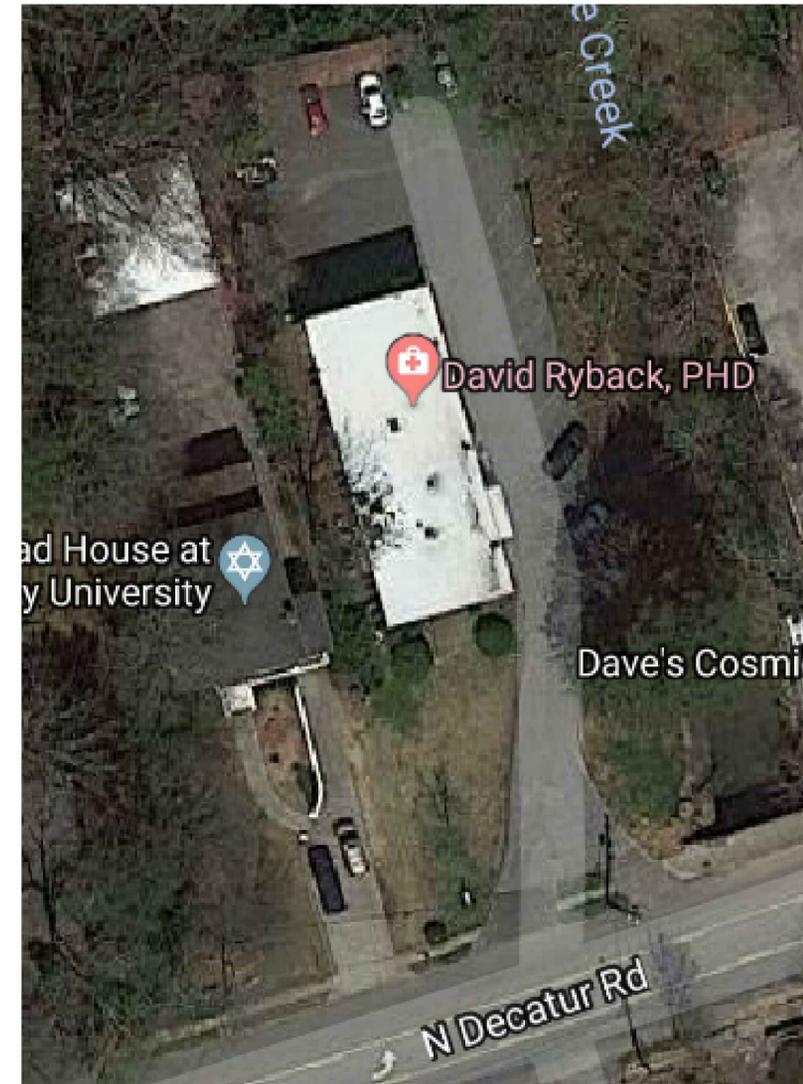
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sheet number

A0.0

of
201816

AERIAL VIEW:



PROJECT DIRECTORY:

Architect:
R. G. Scott & Associates, Inc.
Robert G. Scott
4615 Fowler Trail
Cumming, GA 30041
770.401.5909
rscott89@bellsouth.net

Building Management:

Project Management:

General Contractor:
C&W Contracting Services
Curtis Costley
1395 South Marietta Pkwy
Building 100 Suite 124
Marietta, GA 30067
678-412-0011

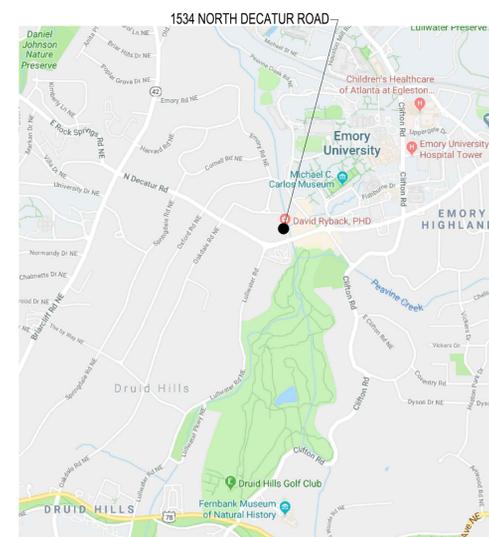
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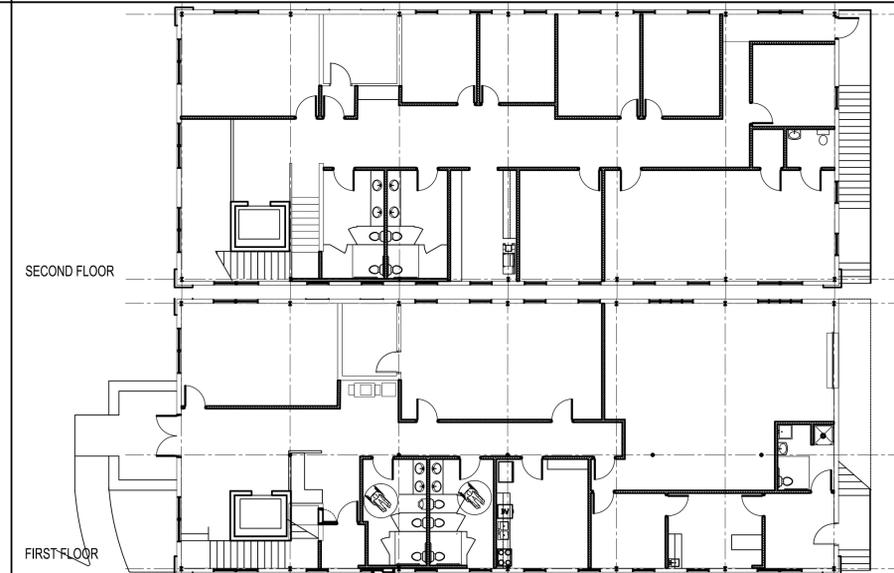
NARRATIVE:

THE RENOVATION OF AN EXISTING OFFICE BUILDING FOR USE OF OWNER/TENANT. ALL INTERIOR CONSTRUCTION TO BE REMOVED FOR NEW CONSTRUCTION. EXISTING WINDOWS TO BE REMOVED AND WALLS TO BE REWORKED FOR NEW WINDOWS. BUILDING WILL HAVE NEW BRICK VENEER ON NEW METAL STUD WALL AND/OR ON EXISTING CMU WALL CONSTRUCTION. THESE DRAWINGS ARE A WORK IN PROGRESS WITH THE INTENT TO SHOW SCOPE OF WORK IN THE BUILDING.

LOCATION MAP



KEY PLAN:



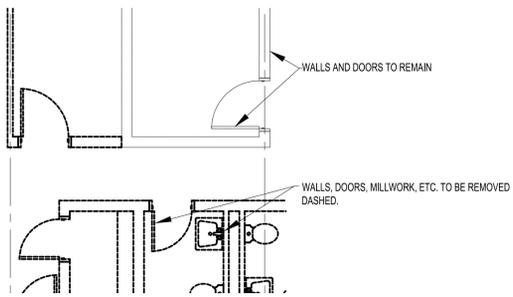
Lullwater Wharf, LLC
Office Building

1534 North Decatur Road
Atlanta, Georgia 30307

GENERAL NOTES:

1. THESE DRAWINGS ARE THE PROPERTY OF R. G. SCOTT AND ASSOCIATES, AND ARE NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART. THESE DRAWINGS ARE TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND ARE NOT TO BE USED ON ANY OTHER PROJECT.
2. DO NOT SCALE FROM THESE DRAWINGS.
3. CONTRACTOR SHALL REVIEW ALL DRAWINGS/SPECIFICATIONS AND VERIFY ALL DIMENSIONS/CONDITIONS AT SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR OMISSIONS BEFORE PROCEEDING WITH THE PROJECT.
4. CONTRACTOR TO REVIEW AND BASE THEIR BID UPON THE REQUIREMENTS OF THE BUILDING MANAGEMENT AS NOTED IN THEIR 'RULES OF THE SITE FOR TENANT CONTRACTORS WORK, AND A SITE VISIT TO VERIFY AS BUILT CONDITIONS.
5. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND LOCAL ORDINANCES. ALL ELECTRICAL, MECHANICAL AND PLUMBING WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE NATIONAL AND LOCAL CODES AND ORDINANCES.
6. THESE DRAWINGS DO NOT PURPORT TO SHOW ALL OBJECTS EXISTING AT THE SITE. PRIOR TO COMMENCEMENT THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS SUCH AS EXISTING UTILITIES TO DETERMINE ALL REQUIREMENTS FOR DISCONNECTING, CAPPING AND/OR PROTECTING ALL SUCH WORK.
7. THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT A SCHEDULE FOR ALL LONG LEAD TIME ITEMS ON THE PROJECT AND SHALL BE RESPONSIBLE FOR NOTIFYING THE ARCHITECT AND OWNER AS TO ANY ITEM WHICH MAY CAUSE THE PROJECT TO BE DELAYED PRIOR TO ORDERING THAT ITEM.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE FIRE EXTINGUISHERS IN HIS WORK SPACE TO COMPLY WITH ALL FIRE REGULATIONS THROUGHOUT THE DURATION OF CONSTRUCTION. CONTRACTOR SHALL COMPLY WITH ALL FEDERAL AND LOCAL SAFETY REGULATIONS IN THE EXECUTION OF THEIR WORK.
9. CONTRACTOR SHALL COMPLY WITH THE OWNER RESTRICTIONS REGARDING ALL CORING, DRILLING, INTERRUPTION OF BUILDING SERVICES, ETC. CONTRACTOR MUST BE SCHEDULED WITH BUILDING MANAGEMENT.
10. ALL PROTRUSIONS OR OPENINGS IN A RATED FIRE WALL SHALL BE SEALED WITH FIRE STOPPING MATERIAL AS REQUIRED.
11. FIELD CHANGES REQUESTED BY THE TENANT MUST BE REVIEWED BY THE OWNER, ARCHITECT, PRICED BY THE CONTRACTOR AND APPROVED BY TENANT PRIOR TO IMPLEMENTATION.
12. ALL BLOCKING IN WALLS OR ABOVE CEILING SHALL BE FIRE TREATED TO MEET LOCAL CODES.
13. INSTALL BLOCKING AS REQUIRED FOR WALL MOUNTED (TOILET) ACCESSORIES IN RESTROOMS.
14. ALL DIMENSIONS SHALL BE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
15. FRAME DOOR OPENINGS WITH DOUBLE 20 GAGE STUDS. SCREW SHEETROCK OFF TO STUDS 6" O.C. AT DOOR JAMBS.
16. HARDWARE SPECIFICATIONS MUST BE COORDINATED THROUGH ARCHITECT AND STRICTLY ADHERED TO.
17. PUBLIC AREAS INCLUDING HALLWAYS, CARPETING, MARBLE FLOORING AND ELEVATOR LOBBIES ARE TO BE PROTECTED AT ALL TIMES. ANY FINISHES DAMAGED DURING CONSTRUCTION WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR PRIOR TO LEAVING THE SITE. THIS INCLUDES ALL SHELL DOORS TO STAIRS, HVAC AND ELECTRICAL ROOMS, JANITOR'S SERVICE ROOMS AND RESTROOMS DOORS. ALL BASE BUILDING FINISH MATERIALS IF AVAILABLE, MUST BE PURCHASED AND/OR COORDINATED THROUGH BUILDING MANAGEMENT.
18. CONTRACTOR IS RESPONSIBLE FOR DAILY CLEAN-UP OF THEIR AREAS (I.E. CEILING TILE REPLACEMENTS, TRASH REMOVAL, CARPET VACUUM, ETC.) TO INCLUDE REMOVAL OF FOOD AND DRINK CONTAINERS AS THE BUILDING DOES NOT FURNISH CONSTRUCTION CLEAN-UP SERVICES.
19. CONTRACTOR SHALL BE RESPONSIBLE FOR THE OFF SITE DISPOSAL OF ALL CONTAINER, PALLETS, CONSTRUCTION DEBRIS, ETC. THE PROPERTY COMPACTOR AND ENCLOSURE SHALL NOT BE USED FOR DISPOSAL OF ANY KIND. PLACEMENT OF CONSTRUCTION DUMPSTER MUST BE COORDINATED WITH BUILDING MANAGEMENT.
20. THERE WILL BE NO SMOKING, CHEWING TOBACCO OR ALCOHOLIC BEVERAGES PERMITTED ON THE PREMISES. PLEASE SMOKE IN DESIGNATED AREAS ONLY.
21. STORAGE OF WORK TOOLS, BOXES OR CONSTRUCTION MATERIALS IN EQUIPMENT AND/OR MECHANICAL ROOMS IS PROHIBITED.
22. COORDINATE SPRINKLER SYSTEM INSTALLATION WITH ALL TRADES.
23. ALL EXPOSED ELECTRICAL FIXTURES SUCH AS EXIT LIGHTS, FIRE ALARMS, WALL OR CEILING MOUNTED CLOCKS, ETC. SHALL BE CENTERED ON ARCHITECTURAL FEATURES AS INDICATED ON REFLECTED CEILING PLANS.
24. THE ARCHITECT'S REVIEW OF SHOP DRAWINGS, PRODUCT DATA AND/OR SAMPLES SHALL NOT RELIEVE THE CONTRACTOR OR HIS SUB-CONTRACTOR OF RESPONSIBILITY FOR ANY DEVIATION FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, NOR SHALL ANY SUCH REVIEW RELIEVE RESPONSIBILITY FOR ANY ERROR AND/OR OMISSIONS IN THE SUBMITTALS.
25. IT IS THE INTENT OF THE CONTRACT DRAWINGS TO INCLUDE LABOR, MATERIALS, EQUIPMENT AND OTHER SERVICES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
26. ALL DRAWINGS AND DETAILS INCORPORATING EXISTING CONDITIONS ARE REPRESENTATIVE OF EXISTING CONDITIONS ONLY. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THE DETAILS WITH THE ACTUAL CONDITIONS AND COORDINATE WITH THE ARCHITECT ANY DEVIATIONS OF THE DETAILS REQUIRED EXECUTE THE INTENT OF THESE DETAILS.

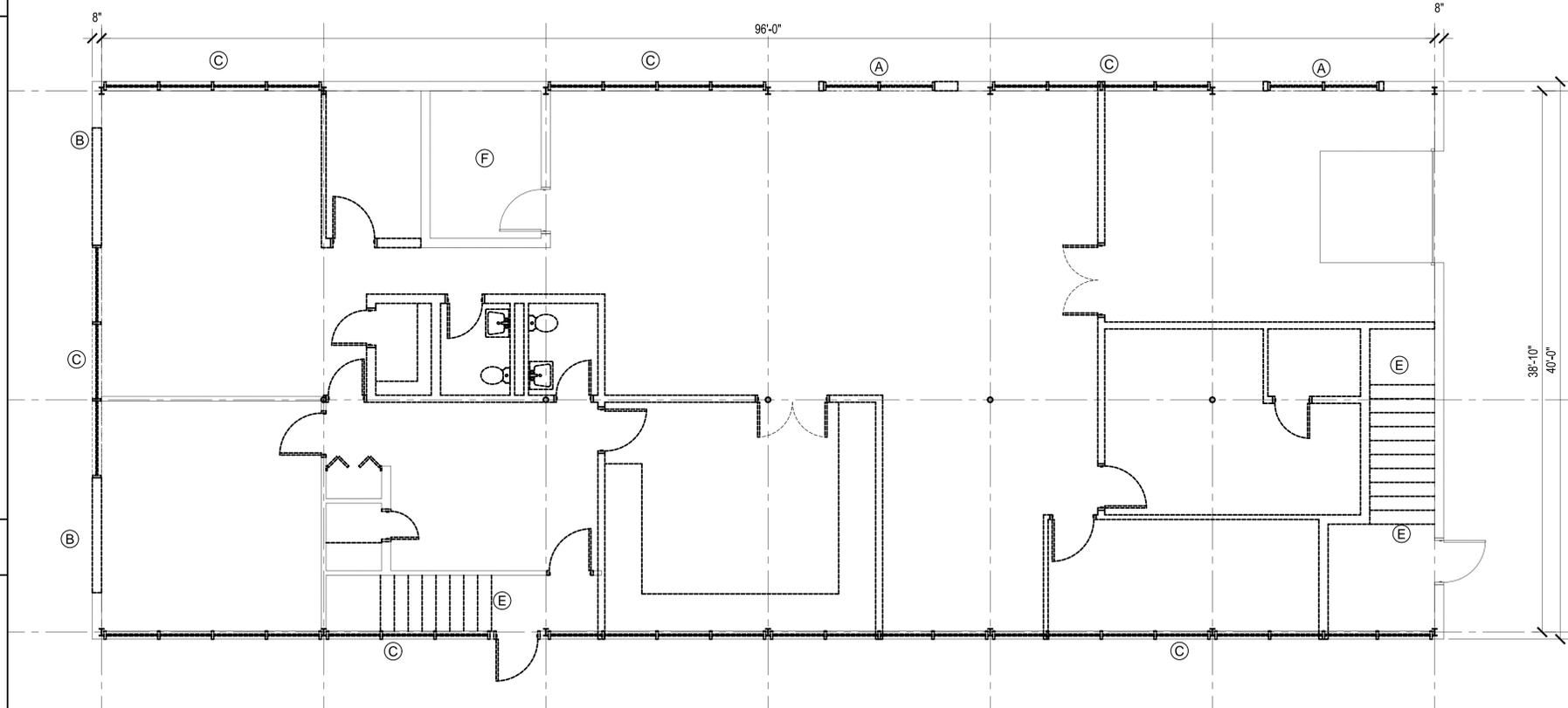
DEMOLITION PLAN LEGEND



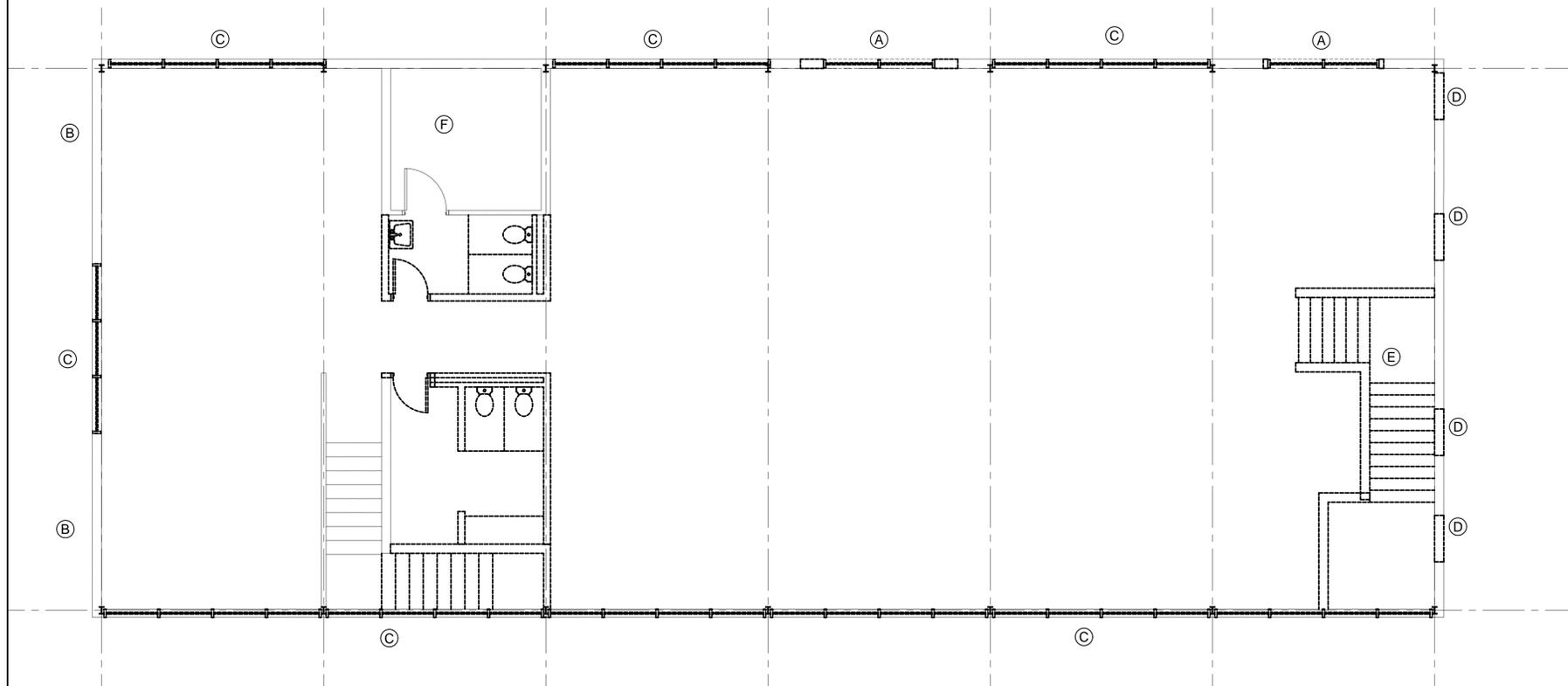
- A. REMOVE WINDOW AND PREP FOR NEW OPENING
- B. REMOVE PRECAST CONCRETE PANEL
- C. REMOVE CURTAIN WALL SYSTEM AND GLASS
- D. REMOVE WALL AS REQUIRED FOR NEW WINDOW/DOOR OPENING.
- E. REMOVE STAIRS
- F. BUILDING MECHANICAL/ELECTRICAL TO REMAIN.

DEMOLITION GENERAL NOTES

1. THE SCOPE OF DEMOLITION IS THE REMOVAL OF ALL INTERIOR WALLS, FINISHES, DOORS, CEILING, ELECTRICAL, PLUMBING FIXTURES AND MECHANICAL. SPACE IS TO BE REMOVED TO THE STRUCTURE AND PREPPED FOR NEW LAYOUT.
2. EXISTING ELECTRICAL ROOM AND MECHANICAL AREA TO REMAIN. REMOVE EXISTING MECHANICAL EQUIPMENT AND PREPARE SPACE FOR NEW MECHANICAL DESIGN AND EQUIPMENT.



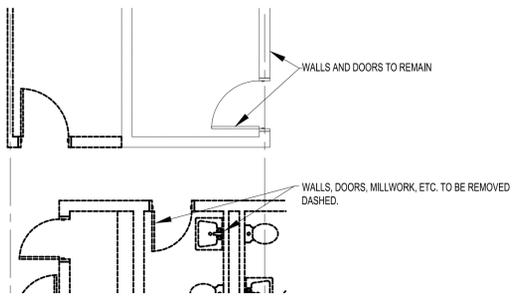
A First Floor Existing Plan
Scale 3/16" = 1'-0"



SCALE: 3/16" = 1'-0" 0 2' 4' 10' 16'

A First Floor Existing Plan
Scale 3/16" = 1'-0"

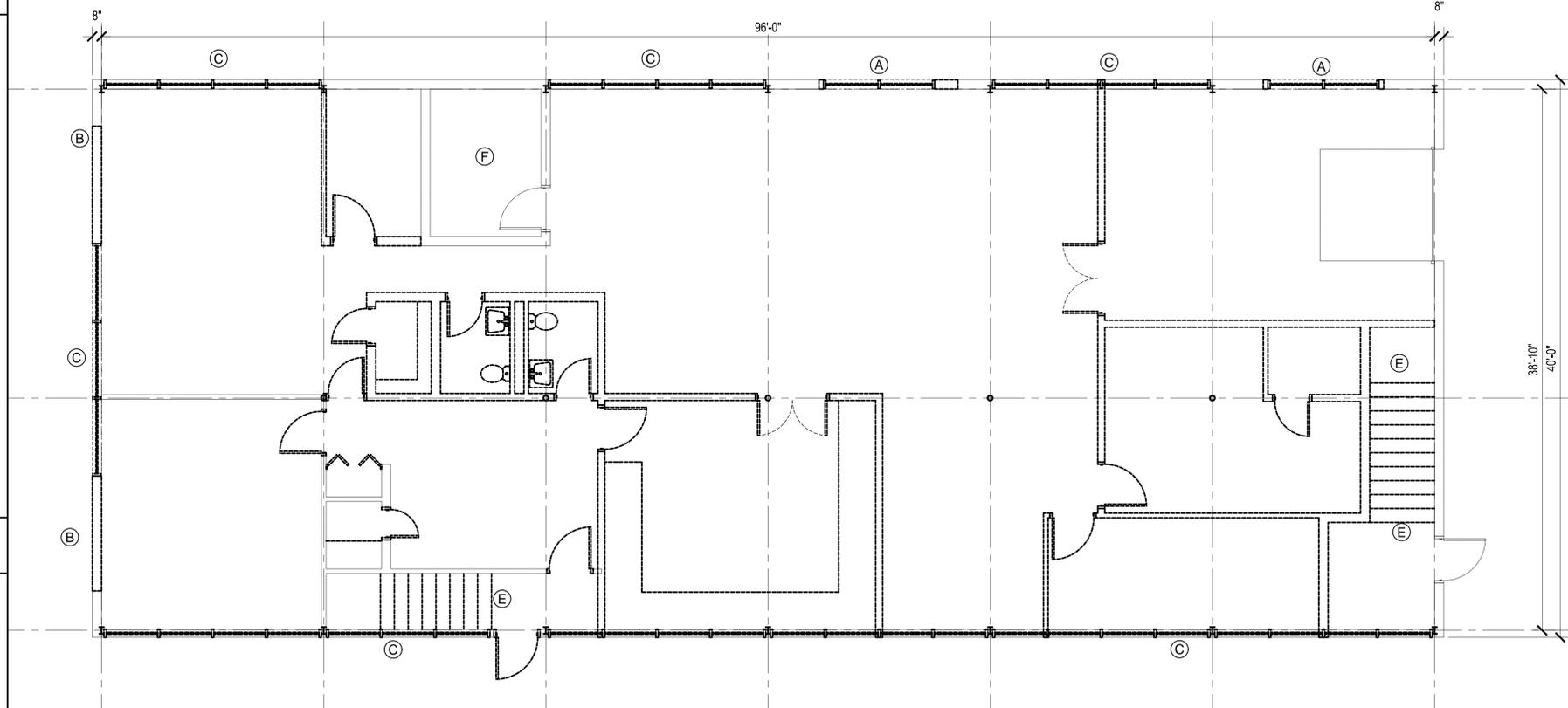
DEMOLITION PLAN LEGEND



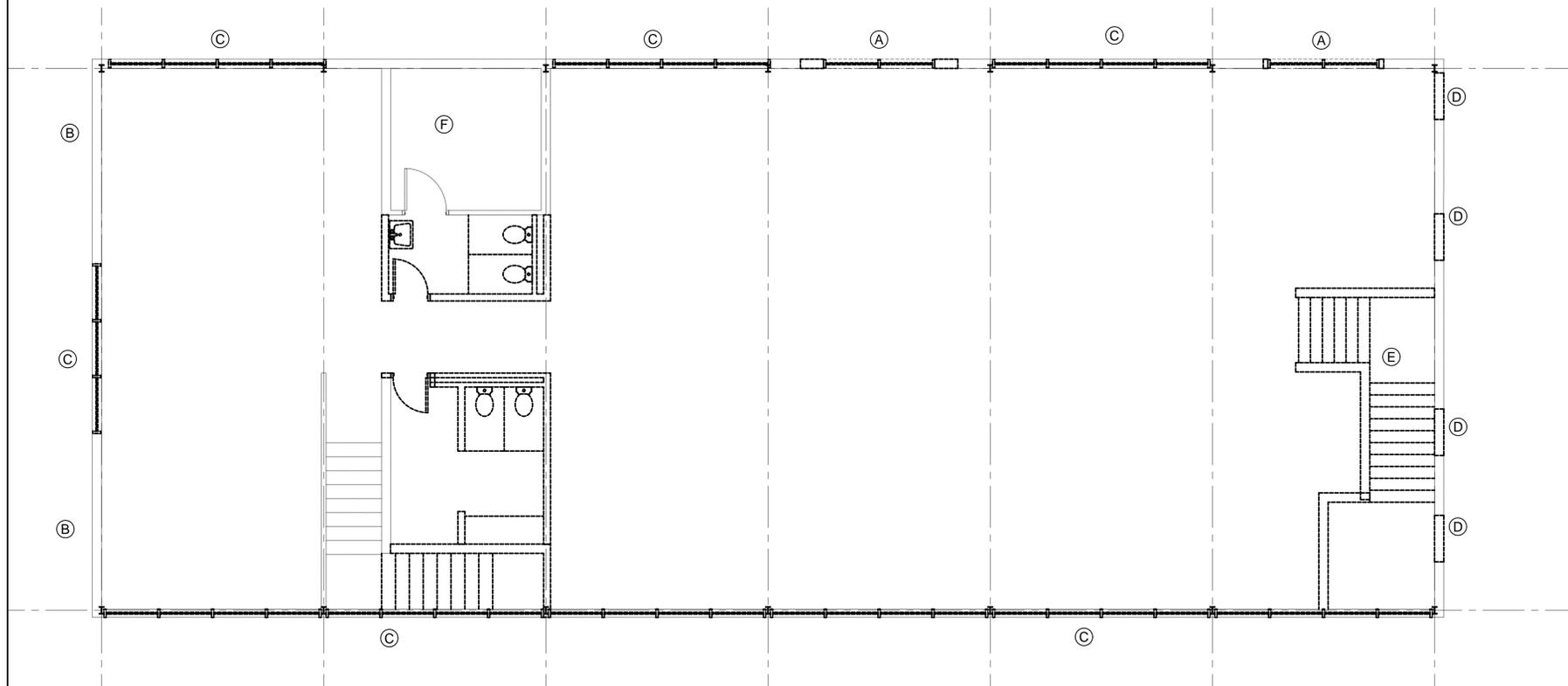
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DEMOLITION GENERAL NOTES

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2. EXISTING ELECTRICAL ROOM AND MECHANICAL AREA TO REMAIN. REMOVE EXISTING MECHANICAL EQUIPMENT AND PREPARE SPACE FOR NEW MECHANICAL DESIGN AND EQUIPMENT.

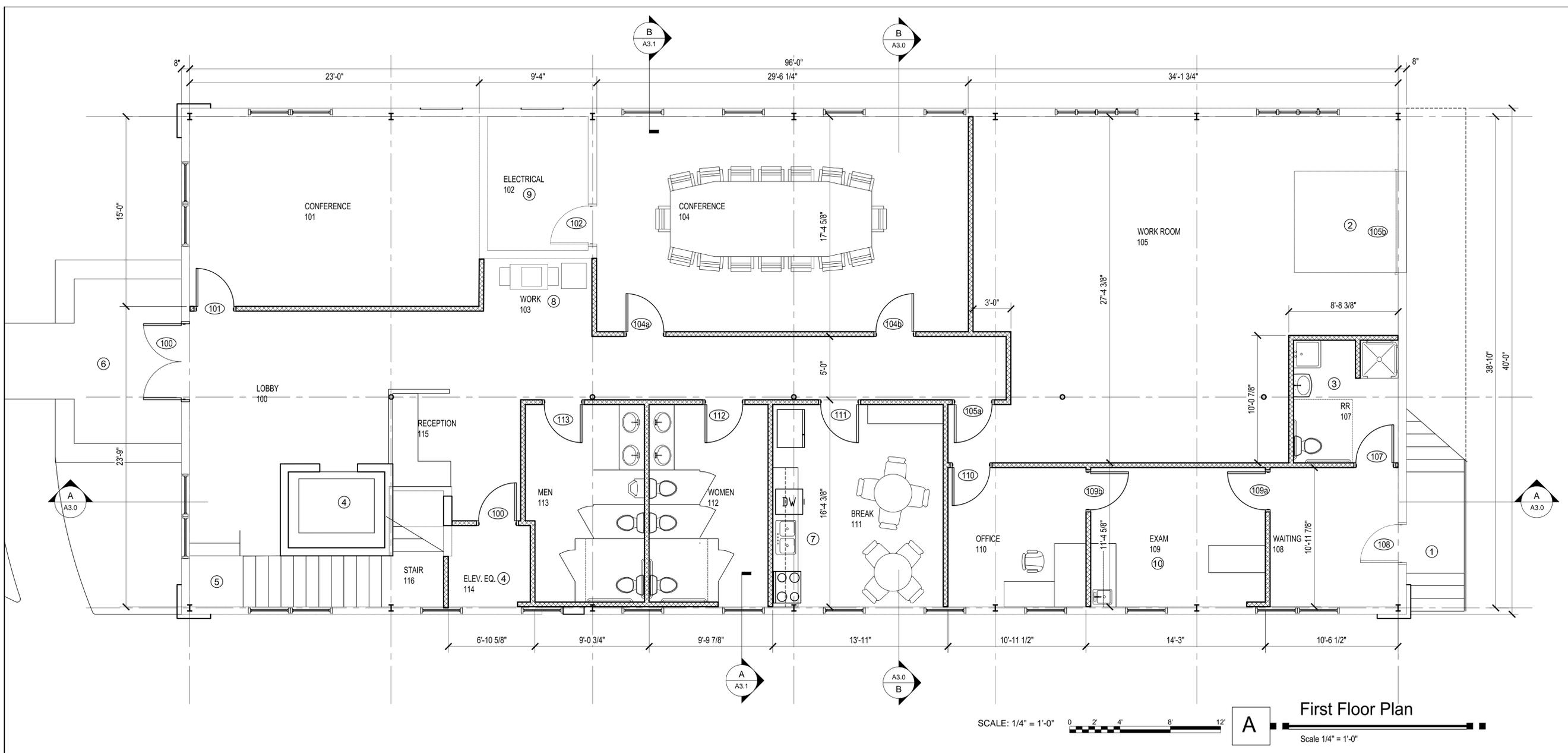


A First Floor Existing Plan
Scale 3/16" = 1'-0"



SCALE: 3/16" = 1'-0" 0 2' 4' 10' 16'

A First Floor Existing Plan
Scale 3/16" = 1'-0"

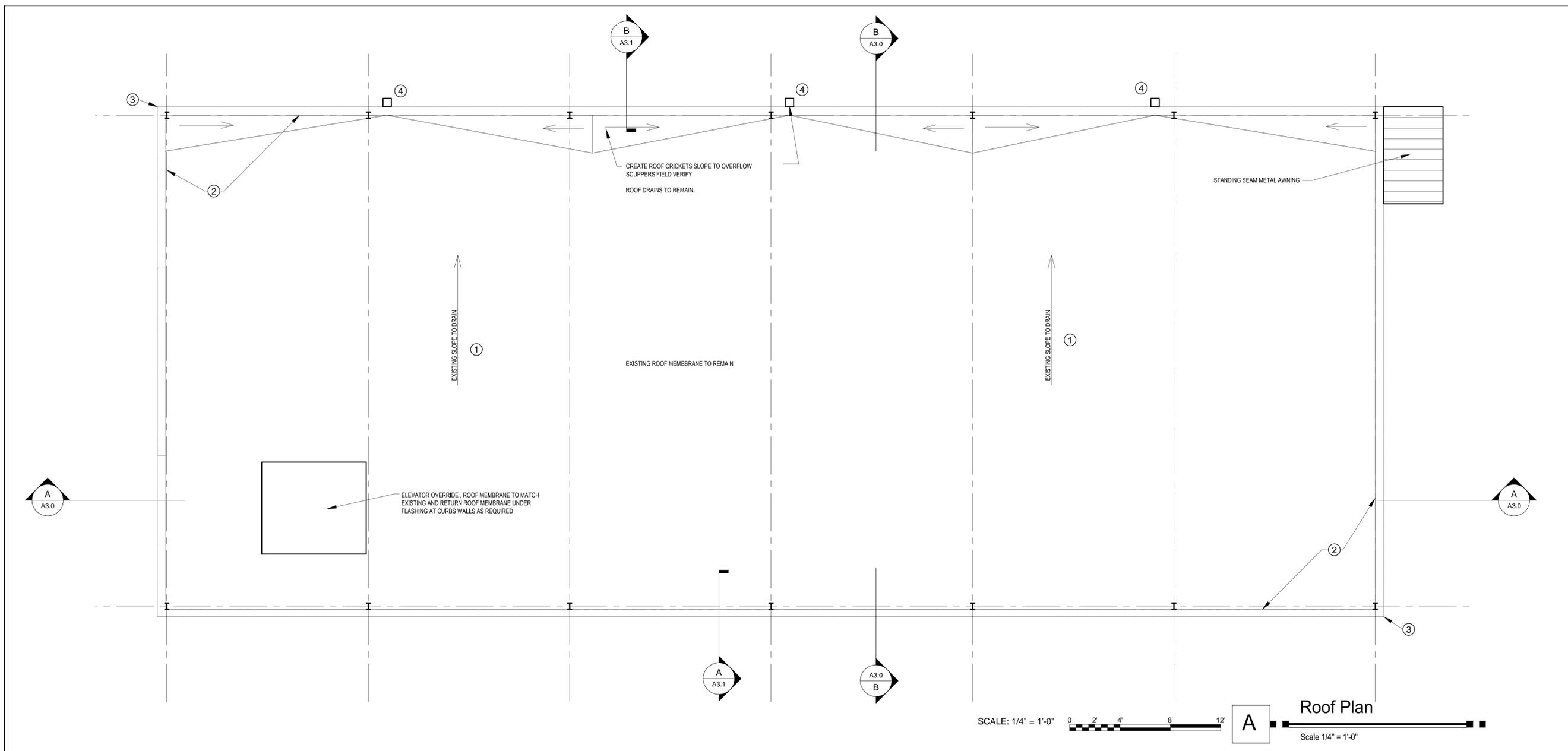


PLAN NOTES

PLAN LEGEND

- (100) DOOR TYPE SEE SCHEDULE A1.1
- EXISTING WALL TO REMAIN
- NEW 3 5/8" METAL STUD WALL WITH 1/2" GWB EACH FACE, TO STRUCTURE ABOVE, SOUND WALL SEE A/A2.0
- NEW 3 5/8" METAL STUD WALL WITH 1/2" GWB EACH FACE, TO STRUCTURE ABOVE, SEE B/A2.0

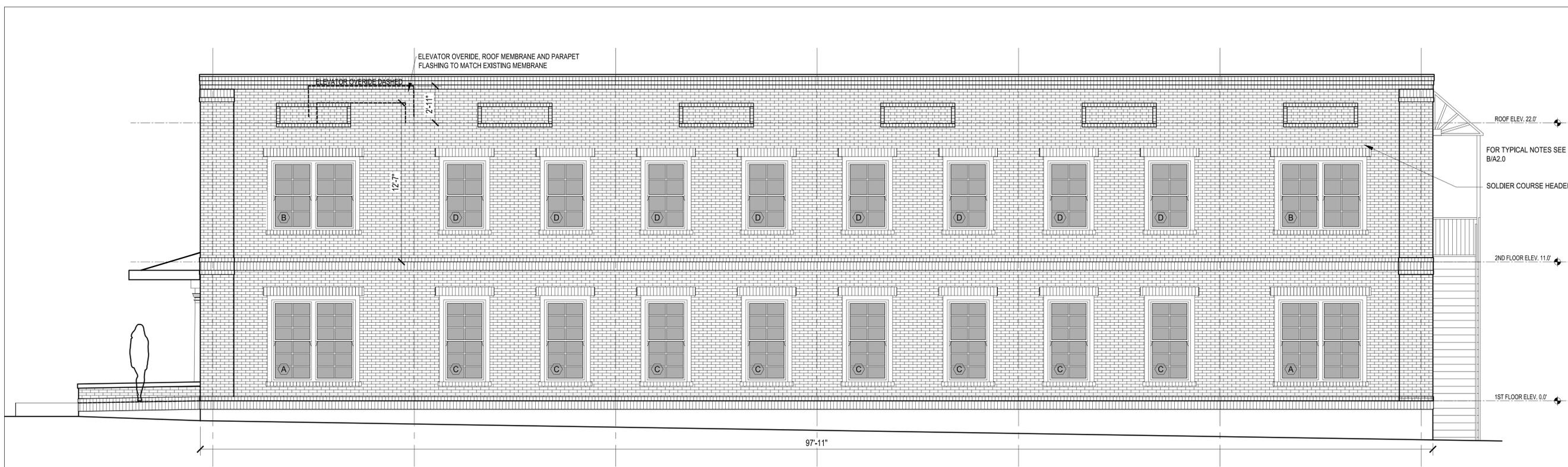
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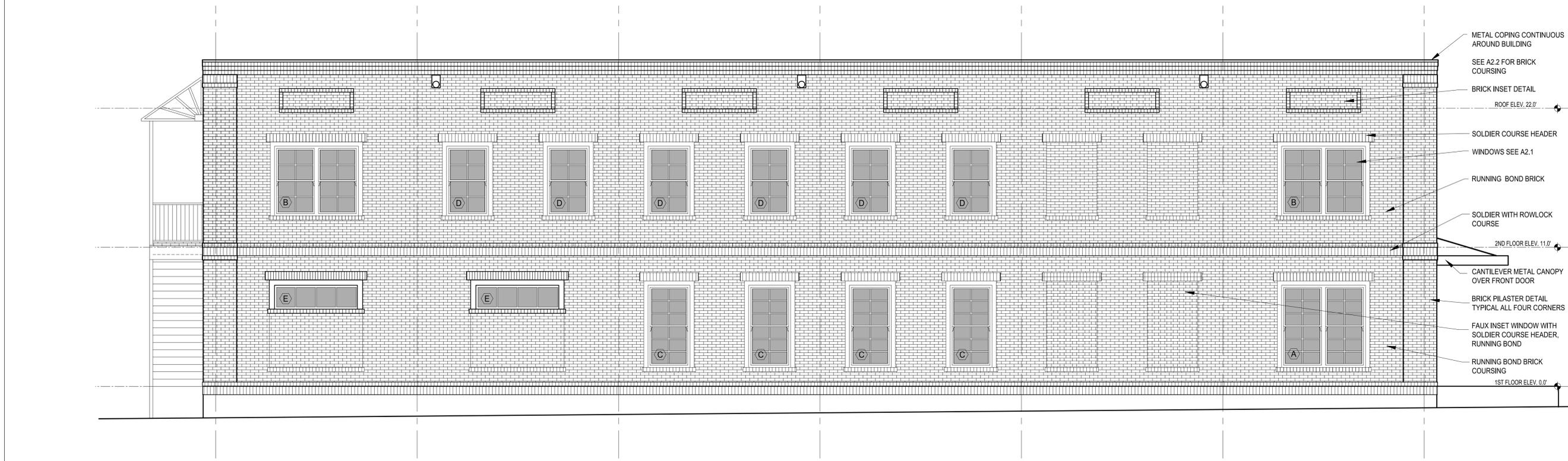
PLAN NOTES

GENERAL NOTES

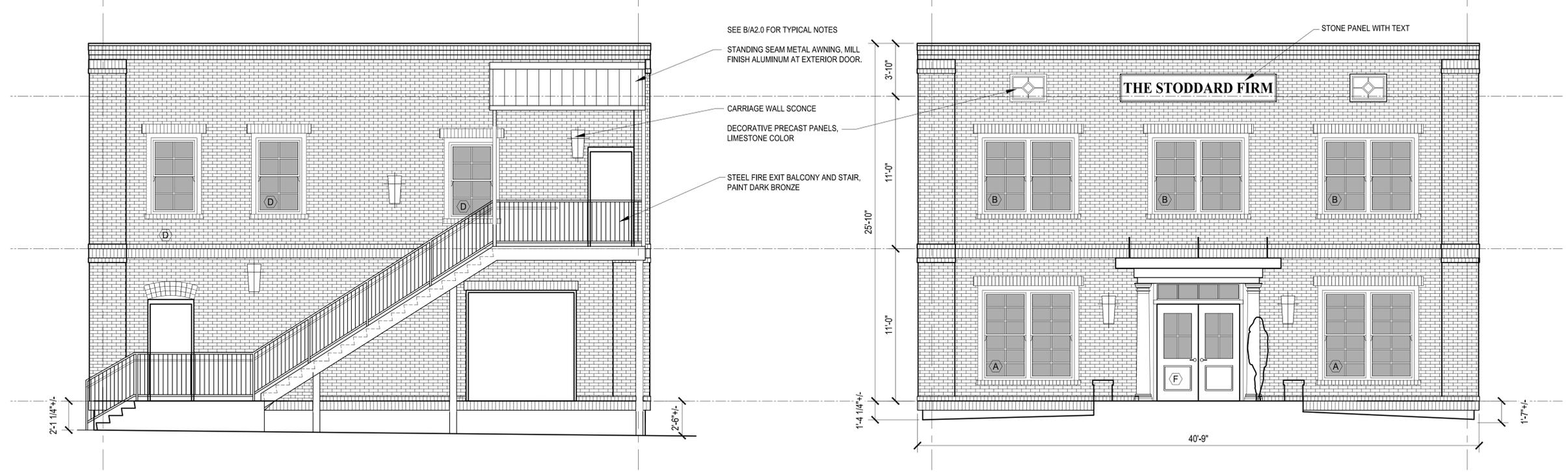
1. EXISTING ROOF AND DRAINAGE TO REMAIN. REFURBISH AS REQUIRED.
2. PROVIDE NEW PARAPET WATERPROOFING AND FLASHING AS REQUIRED FOR NEW PARAPET.
3. PROVIDE NEW PARAPET CAP FLASHING CONTINUOUS AROUND BUILDING.
4. PROVIDE NEW OVERFLOW SCUPPERS AS REQUIRED FOR NEW PARAPET CONSTRUCTION.



A East Elevation
Scale 1/4" = 1'-0"



SCALE: 1/4" = 1'-0" 0 2' 4' 8' 12'
B West Elevation
Scale 1/4" = 1'-0"



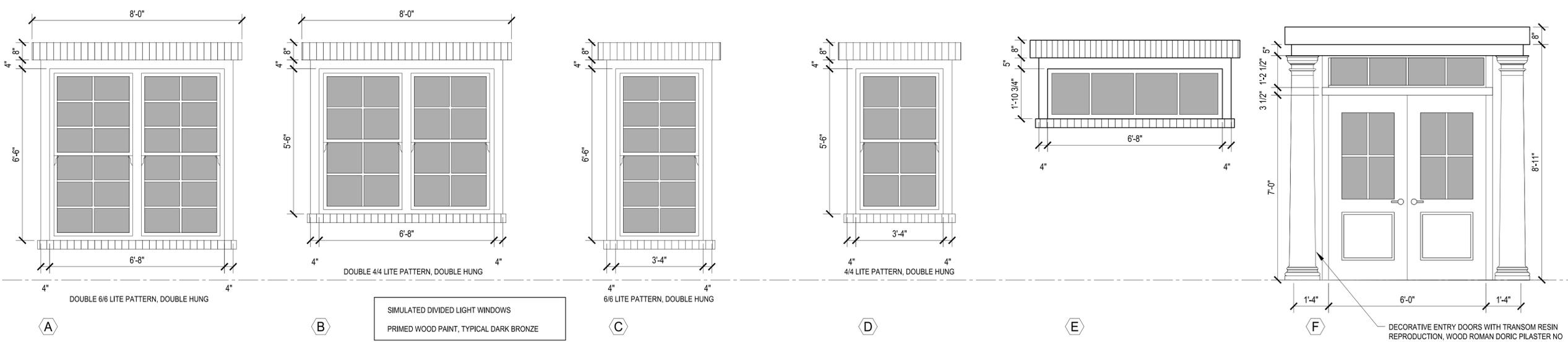
B North Elevation
Scale 1/4" = 1'-0"

A South Elevation
Scale 1/4" = 1'-0"

D Entry Low Wall Elevation
Scale 1/4" = 1'-0"

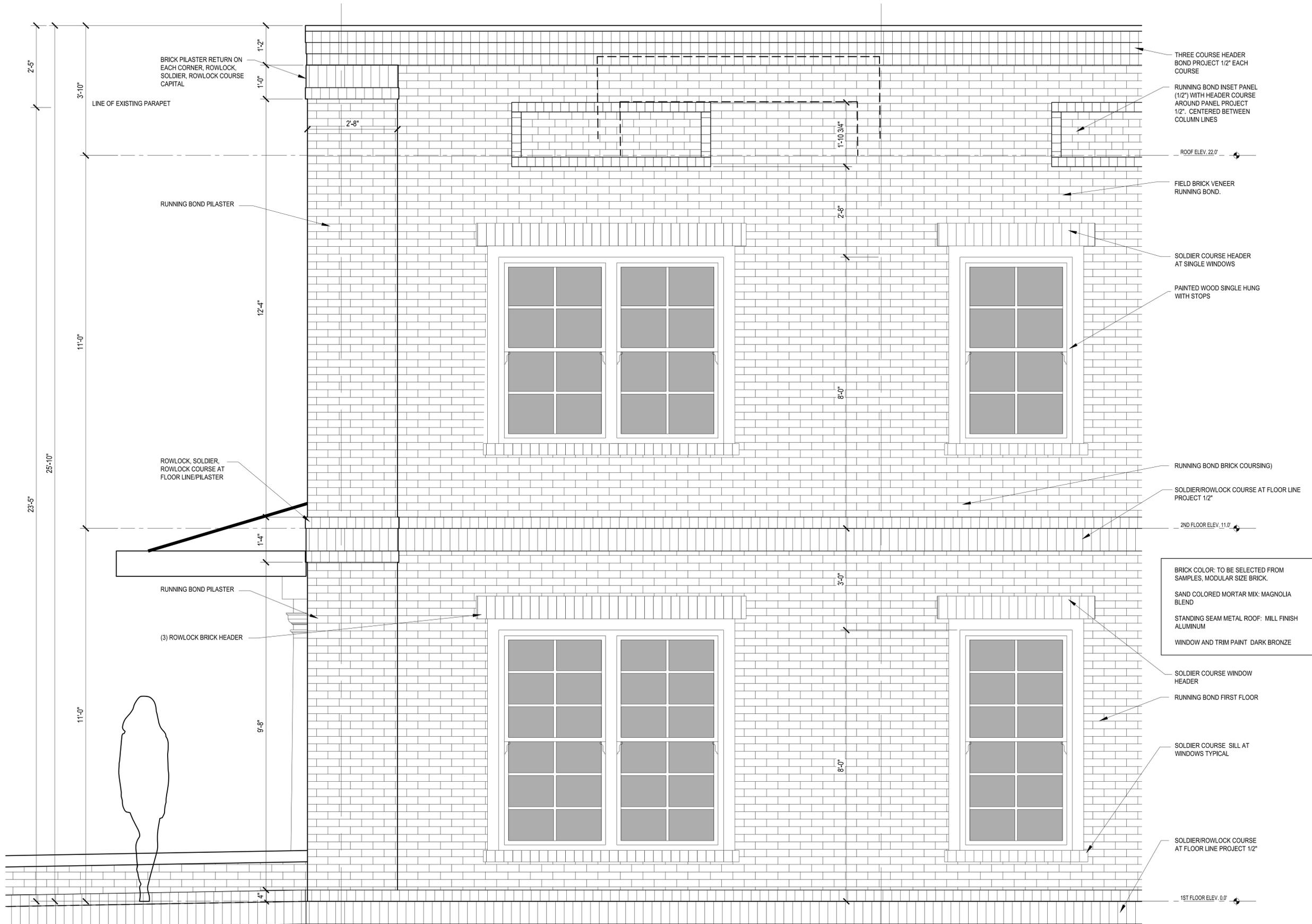
FLAT SOLDIER COURSE HEADER ON STEEL LINTELS
TYPICAL

BRICK VENEER LOW WALL AROUND
ENTRY PORCH. PRECAST CAP



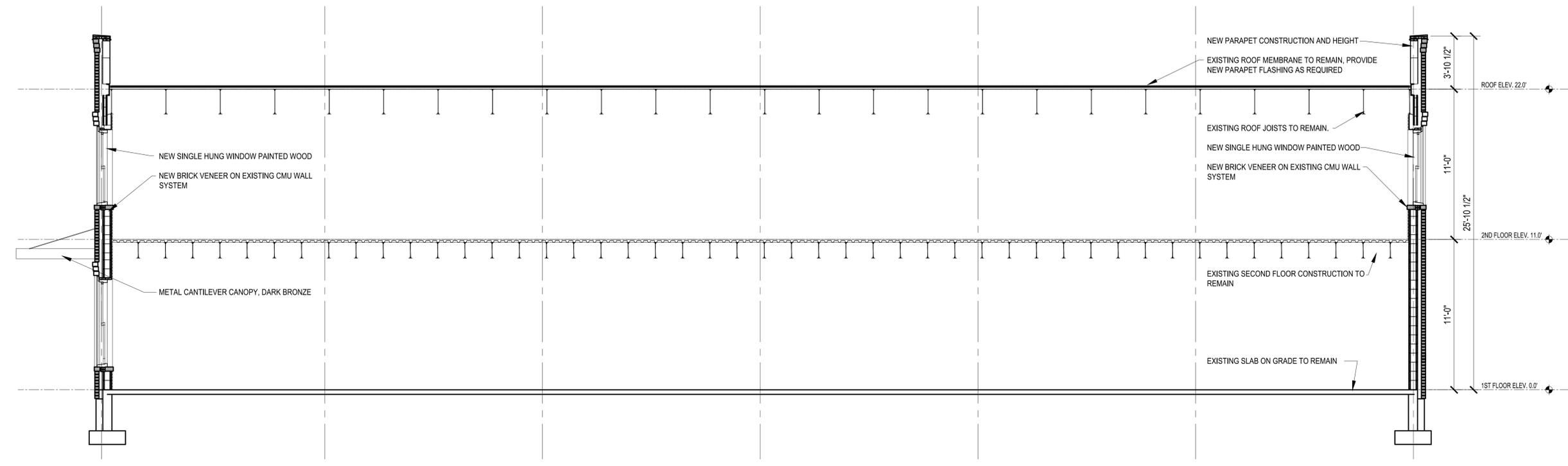
C Window Elevations
Scale 1/2" = 1'-0"

SCALE: 1/2" = 1'-0"

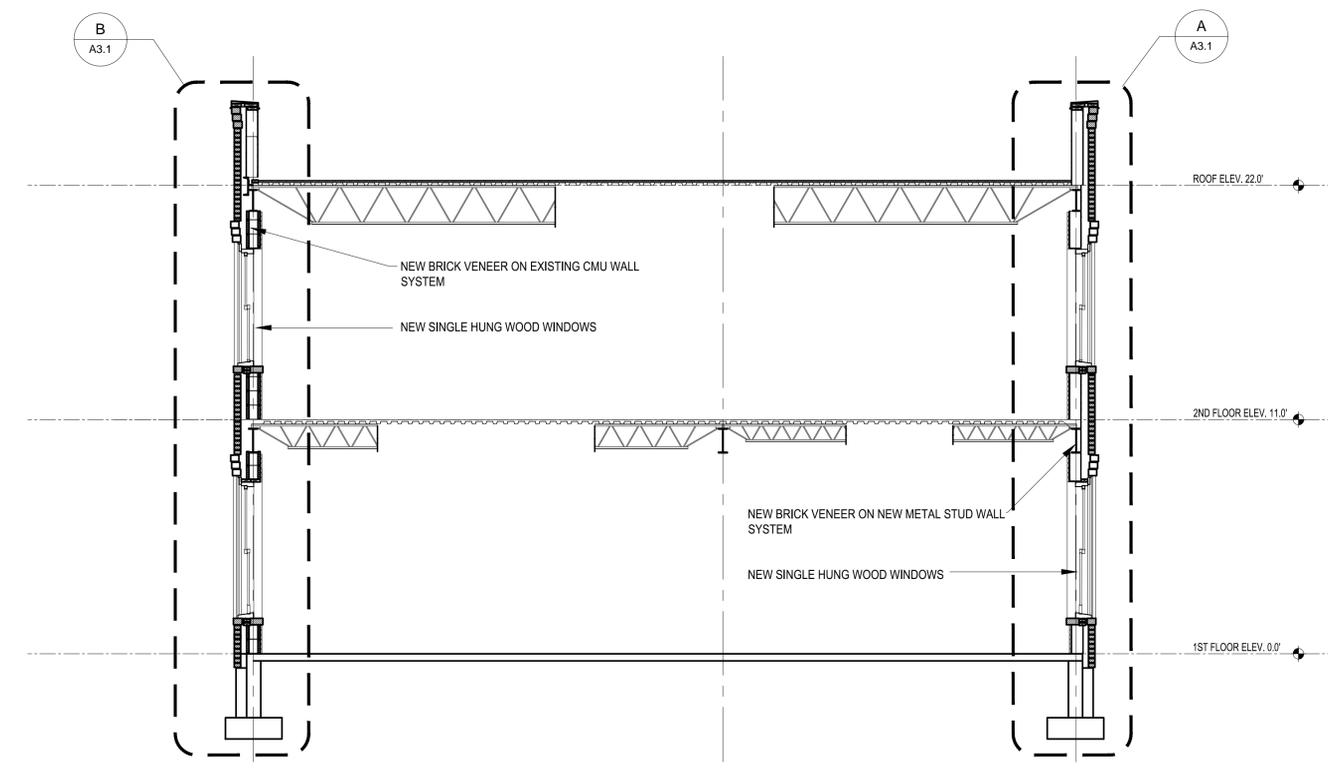


BRICK COLOR: TO BE SELECTED FROM SAMPLES, MODULAR SIZE BRICK.
SAND COLORED MORTAR MIX: MAGNOLIA BLEND
STANDING SEAM METAL ROOF: MILL FINISH ALUMINUM
WINDOW AND TRIM PAINT DARK BRONZE

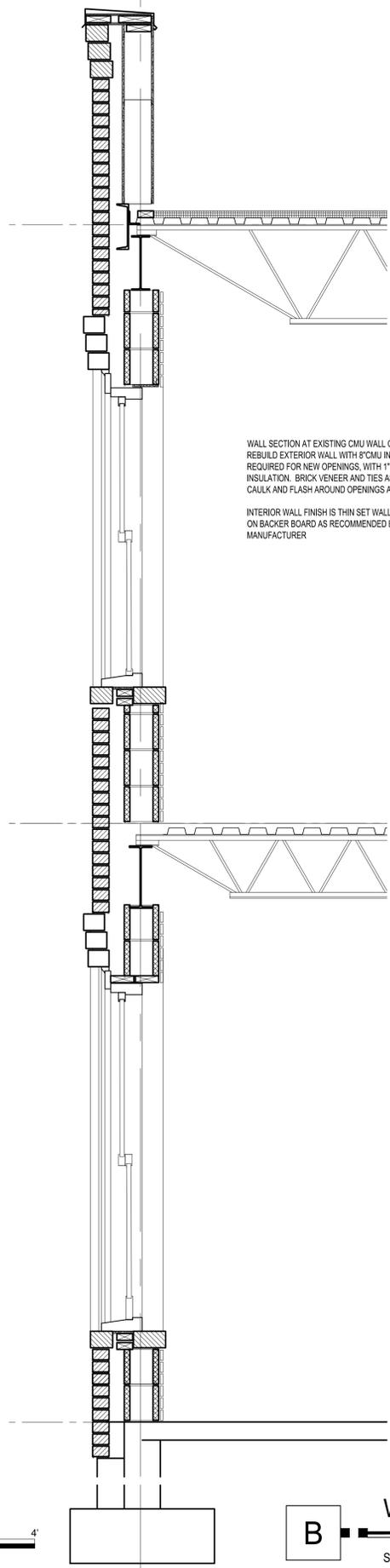
SCALE: 3/4" = 1'-0" **A** **Brick Coursing Elevation**
Scale 3/4" = 1'-0"



A Building Section A-A
Scale 1/4" = 1'-0"

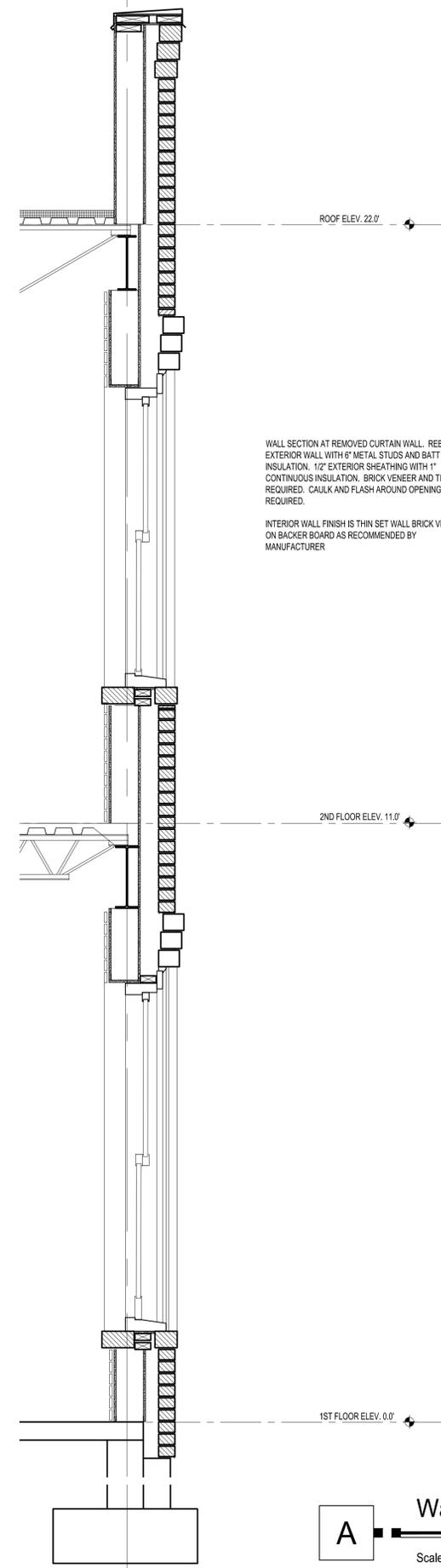


SCALE: 1/4" = 1'-0" **B** Building Section B-B
Scale 1/4" = 1'-0"



WALL SECTION AT EXISTING CMU WALL CONSTRUCTION. REBUILD EXTERIOR WALL WITH 8" CMU INFILL AS REQUIRED FOR NEW OPENINGS. WITH 1" CONTINUOUS INSULATION. BRICK VENEER AND TIES AS REQUIRED. CAULK AND FLASH AROUND OPENINGS AS REQUIRED.
INTERIOR WALL FINISH IS THIN SET WALL BRICK VENEER ON BACKER BOARD AS RECOMMENDED BY MANUFACTURER

B Wall Section
Scale 3/4" = 1'-0"



WALL SECTION AT REMOVED CURTAIN WALL. REBUILD EXTERIOR WALL WITH 6" METAL STUDS AND BATT INSULATION. 1/2" EXTERIOR SHEATHING WITH 1" CONTINUOUS INSULATION. BRICK VENEER AND TIES AS REQUIRED. CAULK AND FLASH AROUND OPENINGS AS REQUIRED.
INTERIOR WALL FINISH IS THIN SET WALL BRICK VENEER ON BACKER BOARD AS RECOMMENDED BY MANUFACTURER

A Wall Section
Scale 3/4" = 1'-0"

SCALE: 3/4" = 1'-0"

