



Work Order Signature Document

Sourcewell EZIQC Contract No.: GA03-2-072115-OML

New Work Order Modify an Existing Work Order

Work Order Number: 064415.00 Work Order Date: 05/13/2019

Work Order Title: DeKalb County Sanitation North Collection Lot Bldg Upgrades

Owner Name: DeKalb County Facilities Management Contractor Name: Osprey Management LLC

Contact: Cristina Fannin Contact: Clayton Cowart

Phone: 404-687-3528 Phone: 678-313-7318

Work to be Performed

Work to be performed as per the Final Detailed Scope of Work Attached and as per the terms and conditions of Sourcewell EZIQC Contract No GA03-2-072115-OML.

Brief Work Order Description:

ezIQC Statewide Contract #99999-SPD-S20160216-012 Project #064415 - DeKalb County Sanitation North Collection Lot Bldg Upgrades Building Upgrades

Time of Performance See Schedule Section of the Detailed Scope of Work

Liquidated Damages Will apply: Will not apply:

Work Order Firm Fixed Price: \$195,442.09

Owner Purchase Order Number:

Approvals

Owner _____ Date _____ Contractor _____ Date _____

Detailed Scope of Work

To: Clayton Cowart
Osprey Management LLC
7742 Spalding Drive
Norcross, GA 30092
678-313-7318

From: Cristina Fannin
DeKalb County Facilities Management

404-687-3528

Date Printed: May 13, 2019

Work Order Number: 064415.00

Work Order Title: Dekalb County Sanitation North Collection Lot Bldg Upgrades

Brief Scope: eziQC Statewide Contract #99999-SPD-S20160216-012 Project #064415 - Dekalb County Sanitation North Collection Lot Bldg Upgrades Building Upgrades

Preliminary

Revised

Final

The following items detail the scope of work as discussed at the site. All requirements necessary to accomplish the items set forth below shall be considered part of this scope of work.

See attached Scope of Work and proposal for Project #064415 - Dekalb County Sanitation North Collection Lot Bldg. Upgrades. eziQC Statewide Contract #99999-SPD-S20160216-012

Contractor

Date

Owner

Date

Contractor's Price Proposal - Summary

Date: May 13, 2019
IQC Master Contract #: GA03-2-072115-OML
Work Order Number: 064415.00
Owner PO #:
Work Order Title: Dekalb County Sanitation North Collection Lot Bldg Upgrades
Contractor: Osprey Management LLC
Proposal Name: Dekalb County Sanitation North Collection Lot Bldg Upgrades
Proposal Value: \$195,442.09

No Category Input **\$195,442.09**

Proposal Total **\$195,442.09**

This total represents the correct total for the proposal. Any discrepancy between line totals, sub-totals and the proposal total is due to rounding.

The Percentage of NPP on this Proposal: %

Contractor's Price Proposal - Detail

Date: May 13, 2019
IQC Master Contract #: GA03-2-072115-OML
Work Order Number: 064415.00
Owner PO #:
Work Order Title: Dekalb County Sanitation North Collection Lot Bldg Upgrades
Contractor: Osprey Management LLC
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Proposal Value: \$195,442.09

Sect.	Item	Modifier	UOM	Description	Line Total																
Labor	Equip.	Material	(Excluded if marked with an X)																		
No Category Input																					
1	01 22 16 00 0002		EA	Reimbursable Fees Reimbursable Fees will be paid to the contractor for eligible costs. The base cost of the Reimbursable Fee is \$1.00. Insert the appropriate quantity to adjust the base cost to the actual Reimbursable Fee (e.g. quantity of 125 = \$125.00 Reimbursable Fee). If there are multiple Reimbursable Fees, list each one separately and add a comment in the "note" block to identify the Reimbursable Fee (e.g. sidewalk closure, road cut, various permits, extended warrantee, expedited shipping costs, etc.). A copy of each receipt shall be submitted with the Price Proposal.	\$4,324.79																
				<table> <tr> <td>Installation</td> <td>Quantity</td> <td></td> <td>Unit Price</td> <td></td> <td>Factor</td> <td>=</td> <td>Total</td> </tr> <tr> <td></td> <td>3,931.63</td> <td>x</td> <td>1.00</td> <td>x</td> <td>1.1000</td> <td>=</td> <td>4,324.79</td> </tr> </table>	Installation	Quantity		Unit Price		Factor	=	Total		3,931.63	x	1.00	x	1.1000	=	4,324.79	
Installation	Quantity		Unit Price		Factor	=	Total														
	3,931.63	x	1.00	x	1.1000	=	4,324.79														
			Bond																		
2	01 22 16 00 0002		EA	Reimbursable Fees Reimbursable Fees will be paid to the contractor for eligible costs. The base cost of the Reimbursable Fee is \$1.00. Insert the appropriate quantity to adjust the base cost to the actual Reimbursable Fee (e.g. quantity of 125 = \$125.00 Reimbursable Fee). If there are multiple Reimbursable Fees, list each one separately and add a comment in the "note" block to identify the Reimbursable Fee (e.g. sidewalk closure, road cut, various permits, extended warrantee, expedited shipping costs, etc.). A copy of each receipt shall be submitted with the Price Proposal.	\$1,719.89																
				<table> <tr> <td>Installation</td> <td>Quantity</td> <td></td> <td>Unit Price</td> <td></td> <td>Factor</td> <td>=</td> <td>Total</td> </tr> <tr> <td></td> <td>1,563.54</td> <td>x</td> <td>1.00</td> <td>x</td> <td>1.1000</td> <td>=</td> <td>1,719.89</td> </tr> </table>	Installation	Quantity		Unit Price		Factor	=	Total		1,563.54	x	1.00	x	1.1000	=	1,719.89	
Installation	Quantity		Unit Price		Factor	=	Total														
	1,563.54	x	1.00	x	1.1000	=	1,719.89														
			Permit Fee																		
3	01 22 20 00 0006		HR	Carpenter For tasks not included in the Construction Task Catalog® and as directed by owner only.	\$1,955.62																
				<table> <tr> <td>Installation</td> <td>Quantity</td> <td></td> <td>Unit Price</td> <td></td> <td>Factor</td> <td>=</td> <td>Total</td> </tr> <tr> <td></td> <td>40.00</td> <td>x</td> <td>44.45</td> <td>x</td> <td>1.0999</td> <td>=</td> <td>1,955.62</td> </tr> </table>	Installation	Quantity		Unit Price		Factor	=	Total		40.00	x	44.45	x	1.0999	=	1,955.62	
Installation	Quantity		Unit Price		Factor	=	Total														
	40.00	x	44.45	x	1.0999	=	1,955.62														
				5 men for a day to put together the trailers																	
4	01 22 20 00 0006 0004		MOD	For Foreman, Add	\$39.07																
				<table> <tr> <td>Installation</td> <td>Quantity</td> <td></td> <td>Unit Price</td> <td></td> <td>Factor</td> <td>=</td> <td>Total</td> </tr> <tr> <td></td> <td>16.00</td> <td>x</td> <td>2.22</td> <td>x</td> <td>1.0999</td> <td>=</td> <td>39.07</td> </tr> </table>	Installation	Quantity		Unit Price		Factor	=	Total		16.00	x	2.22	x	1.0999	=	39.07	
Installation	Quantity		Unit Price		Factor	=	Total														
	16.00	x	2.22	x	1.0999	=	39.07														
5	01 22 20 00 0010		HR	Electrician For tasks not included in the Construction Task Catalog® and as directed by owner only.	\$2,192.76																
				<table> <tr> <td>Installation</td> <td>Quantity</td> <td></td> <td>Unit Price</td> <td></td> <td>Factor</td> <td>=</td> <td>Total</td> </tr> <tr> <td></td> <td>40.00</td> <td>x</td> <td>49.84</td> <td>x</td> <td>1.0999</td> <td>=</td> <td>2,192.76</td> </tr> </table>	Installation	Quantity		Unit Price		Factor	=	Total		40.00	x	49.84	x	1.0999	=	2,192.76	
Installation	Quantity		Unit Price		Factor	=	Total														
	40.00	x	49.84	x	1.0999	=	2,192.76														
				Relocating Circuits and Relabeling Panel/Labor for Temporary Power for Job Trailers																	
6	01 22 20 00 0010 0004		MOD	For Foreman, Add	\$43.82																
				<table> <tr> <td>Installation</td> <td>Quantity</td> <td></td> <td>Unit Price</td> <td></td> <td>Factor</td> <td>=</td> <td>Total</td> </tr> <tr> <td></td> <td>16.00</td> <td>x</td> <td>2.49</td> <td>x</td> <td>1.0999</td> <td>=</td> <td>43.82</td> </tr> </table>	Installation	Quantity		Unit Price		Factor	=	Total		16.00	x	2.49	x	1.0999	=	43.82	
Installation	Quantity		Unit Price		Factor	=	Total														
	16.00	x	2.49	x	1.0999	=	43.82														

Contractor's Price Proposal - Detail Continues..

Work Order Number: 064415.00
Work Order Title: Dekalb County Sanitation North Collection Lot Bldg Upgrades

Proposal Name: Dekalb County Sanitation North Collection Lot Bldg Upgrades
Proposal Value: \$195,442.09

Sect.	Item	Modifier	UOM	Description	Line Total										
Labor	Equip.	Material	(Excluded if marked with an X)												
No Category Input															
7	01 22 20 00 0024		HR	PlumberFor tasks not included in the Construction Task Catalog® and as directed by owner only.	\$2,374.02										
			Installation	<table border="0"> <tr> <td>Quantity</td> <td>Unit Price</td> <td>Factor</td> <td>=</td> <td>Total</td> </tr> <tr> <td>40.00 x</td> <td>53.96 x</td> <td>1.0999</td> <td>=</td> <td>2,374.02</td> </tr> </table>	Quantity	Unit Price	Factor	=	Total	40.00 x	53.96 x	1.0999	=	2,374.02	
Quantity	Unit Price	Factor	=	Total											
40.00 x	53.96 x	1.0999	=	2,374.02											
				Reworking existing ice drainage system and moving ice makers/Labor for temporary plumbing to job trailers											
8	01 22 20 00 0024 0004		MOD	For Foreman, Add	\$47.52										
			Installation	<table border="0"> <tr> <td>Quantity</td> <td>Unit Price</td> <td>Factor</td> <td>=</td> <td>Total</td> </tr> <tr> <td>16.00 x</td> <td>2.70 x</td> <td>1.0999</td> <td>=</td> <td>47.52</td> </tr> </table>	Quantity	Unit Price	Factor	=	Total	16.00 x	2.70 x	1.0999	=	47.52	
Quantity	Unit Price	Factor	=	Total											
16.00 x	2.70 x	1.0999	=	47.52											
9	01 22 23 00 0266		DAY	1,500 LB Capacity, 60" Wide, Skid-Steer Loader With Full-Time Operator	\$1,521.29										
			Installation	<table border="0"> <tr> <td>Quantity</td> <td>Unit Price</td> <td>Factor</td> <td>=</td> <td>Total</td> </tr> <tr> <td>2.00 x</td> <td>691.56 x</td> <td>1.0999</td> <td>=</td> <td>1,521.29</td> </tr> </table>	Quantity	Unit Price	Factor	=	Total	2.00 x	691.56 x	1.0999	=	1,521.29	
Quantity	Unit Price	Factor	=	Total											
2.00 x	691.56 x	1.0999	=	1,521.29											
10	01 52 13 00 0010		MO	12' x 60' Office, With Toilet	\$2,118.34										
			Installation	<table border="0"> <tr> <td>Quantity</td> <td>Unit Price</td> <td>Factor</td> <td>=</td> <td>Total</td> </tr> <tr> <td>6.00 x</td> <td>320.99 x</td> <td>1.0999</td> <td>=</td> <td>2,118.34</td> </tr> </table>	Quantity	Unit Price	Factor	=	Total	6.00 x	320.99 x	1.0999	=	2,118.34	
Quantity	Unit Price	Factor	=	Total											
6.00 x	320.99 x	1.0999	=	2,118.34											
				2 trailers for 3 months											
11	01 52 13 00 0010 0011		MOD	For Each Delivery And Removal, Round Trip, Add	\$2,217.40										
			Installation	<table border="0"> <tr> <td>Quantity</td> <td>Unit Price</td> <td>Factor</td> <td>=</td> <td>Total</td> </tr> <tr> <td>2.00 x</td> <td>1,008.00 x</td> <td>1.0999</td> <td>=</td> <td>2,217.40</td> </tr> </table>	Quantity	Unit Price	Factor	=	Total	2.00 x	1,008.00 x	1.0999	=	2,217.40	
Quantity	Unit Price	Factor	=	Total											
2.00 x	1,008.00 x	1.0999	=	2,217.40											
12	01 52 13 00 0010 0012		MOD	For Each Set-Up (Block And Level), Add	\$1,658.61										
			Installation	<table border="0"> <tr> <td>Quantity</td> <td>Unit Price</td> <td>Factor</td> <td>=</td> <td>Total</td> </tr> <tr> <td>4.00 x</td> <td>376.99 x</td> <td>1.0999</td> <td>=</td> <td>1,658.61</td> </tr> </table>	Quantity	Unit Price	Factor	=	Total	4.00 x	376.99 x	1.0999	=	1,658.61	
Quantity	Unit Price	Factor	=	Total											
4.00 x	376.99 x	1.0999	=	1,658.61											
13	01 52 13 00 0010 0016		MOD	For Each Anchoring Into Asphalt Or Concrete, Add	\$1,108.70										
			Installation	<table border="0"> <tr> <td>Quantity</td> <td>Unit Price</td> <td>Factor</td> <td>=</td> <td>Total</td> </tr> <tr> <td>12.00 x</td> <td>84.00 x</td> <td>1.0999</td> <td>=</td> <td>1,108.70</td> </tr> </table>	Quantity	Unit Price	Factor	=	Total	12.00 x	84.00 x	1.0999	=	1,108.70	
Quantity	Unit Price	Factor	=	Total											
12.00 x	84.00 x	1.0999	=	1,108.70											
14	01 52 13 00 0025		MO	Steps For Field Office Trailer	\$82.49										
			Installation	<table border="0"> <tr> <td>Quantity</td> <td>Unit Price</td> <td>Factor</td> <td>=</td> <td>Total</td> </tr> <tr> <td>3.00 x</td> <td>25.00 x</td> <td>1.0999</td> <td>=</td> <td>82.49</td> </tr> </table>	Quantity	Unit Price	Factor	=	Total	3.00 x	25.00 x	1.0999	=	82.49	
Quantity	Unit Price	Factor	=	Total											
3.00 x	25.00 x	1.0999	=	82.49											
15	01 52 13 00 0031		MO	8' x 8' x 40' Storage Container	\$261.78										
			Installation	<table border="0"> <tr> <td>Quantity</td> <td>Unit Price</td> <td>Factor</td> <td>=</td> <td>Total</td> </tr> <tr> <td>2.00 x</td> <td>119.00 x</td> <td>1.0999</td> <td>=</td> <td>261.78</td> </tr> </table>	Quantity	Unit Price	Factor	=	Total	2.00 x	119.00 x	1.0999	=	261.78	
Quantity	Unit Price	Factor	=	Total											
2.00 x	119.00 x	1.0999	=	261.78											
16	01 52 13 00 0031 0019		MOD	For Delivery And Pick-up Of Container, Add	\$791.93										
			Installation	<table border="0"> <tr> <td>Quantity</td> <td>Unit Price</td> <td>Factor</td> <td>=</td> <td>Total</td> </tr> <tr> <td>1.00 x</td> <td>720.00 x</td> <td>1.0999</td> <td>=</td> <td>791.93</td> </tr> </table>	Quantity	Unit Price	Factor	=	Total	1.00 x	720.00 x	1.0999	=	791.93	
Quantity	Unit Price	Factor	=	Total											
1.00 x	720.00 x	1.0999	=	791.93											
17	01 71 13 00 0002		EA	Equipment Delivery, Pickup, Mobilization And Demobilization Using A Rollback Flatbed TruckIncludes delivery of equipment, off loading on site, rigging, dismantling, loading and transporting away. For equipment such as trenchers, skid-steer loaders (bobcats), industrial warehouse forklifts, sweepers, scissor platform lifts, telescoping and articulating boom manlifts with up to 40' boom lengths, etc.	\$164.99										
			Installation	<table border="0"> <tr> <td>Quantity</td> <td>Unit Price</td> <td>Factor</td> <td>=</td> <td>Total</td> </tr> <tr> <td>1.00 x</td> <td>150.00 x</td> <td>1.0999</td> <td>=</td> <td>164.99</td> </tr> </table>	Quantity	Unit Price	Factor	=	Total	1.00 x	150.00 x	1.0999	=	164.99	
Quantity	Unit Price	Factor	=	Total											
1.00 x	150.00 x	1.0999	=	164.99											

Contractor's Price Proposal - Detail Continues..

Work Order Number: 064415.00
Work Order Title: Dekalb County Sanitation North Collection Lot Bldg Upgrades

Proposal Name: Dekalb County Sanitation North Collection Lot Bldg Upgrades
Proposal Value: \$195,442.09

Sect.	Item	Modifier	UOM	Description	Line Total
Labor	Equip.	Material	(Excluded if marked with an X)		
No Category Input					
18	01 74 23 00 0005		EA	Clean Commercial Plumbing Fixture	\$84.47
				Installation	
				Quantity	
				Unit Price	
				Factor	
				Total	
				8.00 x 9.60 x 1.0999 =	84.47
19	01 74 23 00 0015		CSF	Clean Walls	\$830.75
				Installation	
				Quantity	
				Unit Price	
				Factor	
				Total	
				70.00 x 10.79 x 1.0999 =	830.75
20	01 74 23 00 0025		EA	Clean Residential Plumbing Bath Tub Without Surround	\$75.29
				Installation	
				Quantity	
				Unit Price	
				Factor	
				Total	
				5.00 x 13.69 x 1.0999 =	75.29
				Cleaning existing shower stalls	
21	02 41 19 13 0015		EA	Saw Cut Minimum Charge For projects where the total saw cutting charge is less than the minimum charge, use this task exclusively. This task should not be used in conjunction with any other tasks in this section.	\$1,156.04
				Installation	
				Quantity	
				Unit Price	
				Factor	
				Total	
				2.00 x 525.52 x 1.0999 =	1,156.04
				Saw cut metal building for new windows (2 cuts).	
22	02 41 19 16 0010		SF	Scarify Concrete Floor	\$72.59
				Installation	
				Quantity	
				Unit Price	
				Factor	
				Total	
				600.00 x 0.11 x 1.0999 =	72.59
23	03 01 30 71 0006		SF	Thin Patch/Skim Coat	\$626.94
				Installation	
				Quantity	
				Unit Price	
				Factor	
				Total	
				600.00 x 0.95 x 1.0999 =	626.94
				Floor Prep	
24	03 31 13 00 0022		CY	Direct Chute, Place 3,000 PSI Concrete Spread Footings	\$614.44
				Installation	
				Quantity	
				Unit Price	
				Factor	
				Total	
				3.00 x 186.21 x 1.0999 =	614.44
				Concrete for both awnings and the ice shed.	
25	03 31 13 00 0022 0039		MOD	For Up To 20, Add	\$41.18
				Installation	
				Quantity	
				Unit Price	
				Factor	
				Total	
				3.00 x 12.48 x 1.0999 =	41.18
26	03 31 13 00 0106		CY	Delivery Fee For Concrete Purchases Per CY For Each CY Less Than 9 CY The task quantity is 9 minus the number of CY's delivered. For example, the delivery fee for 2CY's is: (9-2) = 7.	\$116.48
				Installation	
				Quantity	
				Unit Price	
				Factor	
				Total	
				6.00 x 17.65 x 1.0999 =	116.48
27	05 12 23 00 0458		LF	3" x 3" x 3/16" Angle Iron	\$979.97
				Installation	
				Quantity	
				Unit Price	
				Factor	
				Total	
				148.00 x 6.02 x 1.0999 =	979.97
28	06 05 23 00 0120		EA	1/2" Diameter x 8" Length, Zinc Plated Steel, Hex Lag Bolt	\$895.60
				Installation	
				Quantity	
				Unit Price	
				Factor	
				Total	
				82.00 x 9.93 x 1.0999 =	895.60

Contractor's Price Proposal - Detail Continues..

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Sect.	Item	Modifier	UOM	Description	Line Total
Labor	Equip.	Material	(Excluded if marked with an X)		
No Category Input					
29	06 41 13 00 0018		LF	>24" To 30" Width, 34-1/2" High x 24" Deep Built In Place Base Cabinet Prefinished with solid hardwood face frames, hardwood door frames and drawer fronts. Hardwood veneer on raised door panels. Excludes top.	\$1,100.25
			Installation	Quantity 6.00 x Unit Price 166.72 x Factor 1.0999 = Total 1,100.25	
30	06 42 16 00 0009		SF	1/4" Knotty Pine Plywood, Grade AD Unfinished With Trim	\$409.23
			Installation	Quantity 117.00 x Unit Price 3.18 x Factor 1.0999 = Total 409.23	
				sub top	
31	06 42 16 00 0009 0084		MOD	For 3/4" Thick Paneling, Add	\$205.90
			Installation	Quantity 117.00 x Unit Price 1.60 x Factor 1.0999 = Total 205.90	
32	07 62 00 00 0043		SF	0.050" Thick, Mill Finish, Aluminum Flashing And Trim	\$380.35
			Installation	Quantity 38.00 x Unit Price 9.10 x Factor 1.0999 = Total 380.35	
				New Window Flashing	
33	07 62 00 00 0043 0074		MOD	For Baked Aluminum Colors, Add	\$20.90
			Installation	Quantity 38.00 x Unit Price 0.50 x Factor 1.0999 = Total 20.90	
34	07 62 00 00 0043 0075		MOD	For Wrap Around Window Panning, Add	\$170.53
			Installation	Quantity 38.00 x Unit Price 4.08 x Factor 1.0999 = Total 170.53	
35	08 12 13 13 0140		EA	3' x 6'-8" Through 7'-2" High, 8-7/8" Through 13" Deep, 16 Gauge, Knock Down Hollow Metal Door Frame	\$4,258.92
			Installation	Quantity 10.00 x Unit Price 342.13 x Factor 1.0999 = Total 3,763.09	
			Demolition	Quantity 10.00 x Unit Price 45.08 x Factor 1.0999 = Total 495.83	
36	08 12 13 13 0147		EA	6' x 6'-8" Through 7'-2" High, 8-7/8" Through 13" Deep, 16 Gauge, Knock Down Hollow Metal Door Frame	\$1,563.86
			Installation	Quantity 3.00 x Unit Price 415.34 x Factor 1.0999 = Total 1,370.50	
			Demolition	Quantity 3.00 x Unit Price 58.60 x Factor 1.0999 = Total 193.36	
37	08 13 13 13 0018		EA	3' x 7' x 1-3/4", 20 Gauge, Unrated, Hollow Metal Door	\$6,707.63
			Installation	Quantity 16.00 x Unit Price 354.10 x Factor 1.0999 = Total 6,231.59	
			Demolition	Quantity 16.00 x Unit Price 27.05 x Factor 1.0999 = Total 476.04	
38	08 51 13 00 0115		EA	>10 To 15 SF, 3-1/4" Frame Depth, HC 65, Fixed Aluminum Window (Traco TR-7100)	\$641.70
			Installation	Quantity 2.00 x Unit Price 291.71 x Factor 1.0999 = Total 641.70	
39	08 71 23 00 0006		PR	4-1/2" x 4-1/2" Standard Duty, Full Mortise, Plain Bearing, Brass/Bronze, Satin Chrome Finish Hinge	\$1,365.02
			Installation	Quantity 24.00 x Unit Price 51.71 x Factor 1.0999 = Total 1,365.02	

Contractor's Price Proposal - Detail Continues..

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Sect.	Item	Modifier	UOM	Description	Line Total			
Labor	Equip.	Material	(Excluded if marked with an X)					
No Category Input								
40	08 71 23 00 2242		EA	Surface Mounted Heavy Duty Door Closer (LCN 4040XP/4041 Series)	\$5,479.26			
				Quantity	Unit Price	Factor	=	Total
			Installation	16.00	x 311.35	x	1.0999	5,479.26
41	08 71 23 00 2262		EA	Entrance/Office F04 Mortise LocksetLocked with key outside and thumb knob inside.	\$6,934.30			
				Quantity	Unit Price	Factor	=	Total
			Installation	16.00	x 394.03	x	1.0999	6,934.30
42	09 01 60 91 0008		CSF	Wax And Polish Tile	\$568.04			
				Quantity	Unit Price	Factor	=	Total
			Installation	26.58	x 19.43	x	1.0999	568.04
				3 coats				
43	09 01 60 91 0008	0450	MOD	For Additional Coat, Add	\$970.03			
				Quantity	Unit Price	Factor	=	Total
			Installation	53.16	x 16.59	x	1.0999	970.03
44	09 01 60 91 0015		SF	Water-Based Emulsion Masonry/Tile/Stone/Terrazzo Floor Sealant/Finish, Per CoatFor terrazzo, concrete, quarry tile, brick and unglazed ceramic tile.	\$195.69			
				Quantity	Unit Price	Factor	=	Total
			Installation	278.00	x 0.64	x	1.0999	195.69
				Cleaning restroom floors				
45	09 22 13 00 0020		SF	25 Gauge, 16" On Center, Installed On Walls, Single-Leg Resilient Channel, RC1 Furring Channel	\$2,519.60			
				Quantity	Unit Price	Factor	=	Total
			Installation	1,309.00	x 1.75	x	1.0999	2,519.60
46	09 22 16 13 0004		SF	3-5/8" Width, 16" On Center, 25 Gauge, Non Load Bearing, Non Structural Metal Stud Framing With Tracks And Runners	\$2,145.26			
				Quantity	Unit Price	Factor	=	Total
			Installation	1,309.00	x 1.49	x	1.0999	2,145.26
47	09 22 16 13 0004	0012	MOD	For >1,000, Deduct	-\$201.57			
				Quantity	Unit Price	Factor	=	Total
			Installation	1,309.00	x -0.14	x	1.0999	-201.57
48	09 23 13 00 0017		SF	Smooth Finish Two Coats Gypsum Plaster On Walls	\$5,388.41			
				Quantity	Unit Price	Factor	=	Total
			Installation	1,725.00	x 2.84	x	1.0999	5,388.41
				Patching all areas of existing drywall damage before painting. 25% of area to be painted to be skim coated. 1,725 S.F.				
49	09 29 00 00 0006		SF	5/8" Gypsum Board	\$1,396.58			
				Quantity	Unit Price	Factor	=	Total
			Installation	1,309.00	x 0.97	x	1.0999	1,396.58
50	09 29 00 00 0006	0055	MOD	For >1,536, Deduct	-\$173.83			
				Quantity	Unit Price	Factor	=	Total
			Installation	1,756.00	x -0.09	x	1.0999	-173.83

Contractor's Price Proposal - Detail Continues..

Work Order Number: 064415.00

Work Order Title: Dekalb County Sanitation North Collection Lot Bldg Upgrades

Proposal Name: Dekalb County Sanitation North Collection Lot Bldg Upgrades

Proposal Value: \$195,442.09

Sect.	Item	Modifier	UOM	Description	Line Total	
Labor	Equip.	Material	(Excluded if marked with an X)			
No Category Input						
51	09 29 00 00 0056		SF	Up To 10' High, Walls, Tape, Spackle And Finish Gypsum Board	\$532.71	
			Installation	Quantity Unit Price Factor = Total		
				1,309.00 x 0.37 x 1.0999 = 532.71		
52	09 29 00 00 0062		LF	Up To 10' High, Vertical Corners, Tape, Spackle And Finish Gypsum Board	\$101.63	
			Installation	Quantity Unit Price Factor = Total		
				120.00 x 0.77 x 1.0999 = 101.63		
53	09 29 00 00 0065		LF	Up To 10' High, Horizontal Corners, Tape, Spackle And Finish Gypsum Board	\$251.66	
			Installation	Quantity Unit Price Factor = Total		
				260.00 x 0.88 x 1.0999 = 251.66		
54	09 51 13 00 0003		SF	2' x 2' x 5/8" Fiberglass Acoustical Ceiling Panel	\$7,114.44	
			Installation	Quantity Unit Price Factor = Total		
				3,589.00 x 1.70 x 1.0999 = 6,710.82		
			Demolition	Quantity Unit Price Factor = Total		
				1,668.00 x 0.22 x 1.0999 = 403.62		
55	09 51 13 00 0003	0101	MOD	For >2,500 To 4,000, Deduct	-\$157.90	
			Installation	Quantity Unit Price Factor = Total		
				3,589.00 x -0.04 x 1.0999 = -157.90		
56	09 53 23 00 0004		SF	2' x 2' Grid, 15/16" T Bar Ceiling Suspension System	\$6,956.54	
			Installation	Quantity Unit Price Factor = Total		
				3,589.00 x 1.66 x 1.0999 = 6,552.92		
			Demolition	Quantity Unit Price Factor = Total		
				1,668.00 x 0.22 x 1.0999 = 403.62		
57	09 53 23 00 0004	0138	MOD	For >2,500 To 4,000, Deduct	-\$157.90	
			Installation	Quantity Unit Price Factor = Total		
				3,589.00 x -0.04 x 1.0999 = -157.90		
58	09 65 13 13 0002		LF	4" High, 1/8" Vinyl Plastic Base, All Colors	\$1,971.64	
			Installation	Quantity Unit Price Factor = Total		
				924.00 x 1.94 x 1.0999 = 1,971.64		
59	09 65 19 19 0002		SF	1/8" Thick, Class 2 Through Pattern, Vinyl Composition Tile (VCT) (Armstrong® Standard Excelon Imperial Texture®)	\$1,722.44	
			Installation	Quantity Unit Price Factor = Total		
				600.00 x 1.91 x 1.0999 = 1,260.49		
			Demolition	Quantity Unit Price Factor = Total		
				600.00 x 0.70 x 1.0999 = 461.96		
60	09 81 16 00 0016		SF	3-1/2" Thick, Kraft Faced Sound Attenuation Batt	\$892.66	
			Installation	Quantity Unit Price Factor = Total		
				1,309.00 x 0.62 x 1.0999 = 892.66		
61	09 91 13 00 0231		EA	Paint Exterior Metal Door, Both Faces, 1 Coat Primer, Brush/Roller Work	\$222.75	
			Installation	Quantity Unit Price Factor = Total		
				4.00 x 50.63 x 1.0999 = 222.75		
62	09 91 13 00 0233		EA	Paint Exterior Metal Door, Both Faces, 2 Coats Paint, Brush/Roller Work	\$401.55	
			Installation	Quantity Unit Price Factor = Total		
				4.00 x 91.27 x 1.0999 = 401.55		

Contractor's Price Proposal - Detail Continues..

Work Order Number: 064415.00
Work Order Title: Dekalb County Sanitation North Collection Lot Bldg Upgrades

Proposal Name: Dekalb County Sanitation North Collection Lot Bldg Upgrades
Proposal Value: \$195,442.09

Sect.	Item	Modifier	UOM	Description	Line Total
Labor	Equip.	Material	(Excluded if marked with an X)		
No Category Input					
63	09 91 23 00 0062		SF	Paint Interior Plaster/Drywall Walls, 1 Coat Primer, Brush/Roller Work	\$3,355.75
			Installation	Quantity 6,934.00 x Unit Price 0.44 x Factor 1.0999 = Total 3,355.75	
64	09 91 23 00 0062 0289		MOD	For >5,000 To 10,000, Deduct	-\$305.07
			Installation	Quantity 6,934.00 x Unit Price -0.04 x Factor 1.0999 = Total -305.07	
65	09 91 23 00 0064		SF	Paint Interior Plaster/Drywall Walls, 2 Coats Paint, Brush/Roller Work	\$6,635.23
			Installation	Quantity 6,934.00 x Unit Price 0.87 x Factor 1.0999 = Total 6,635.23	
66	09 91 23 00 0064 0289		MOD	For >5,000 To 10,000, Deduct	-\$686.40
			Installation	Quantity 6,934.00 x Unit Price -0.09 x Factor 1.0999 = Total -686.40	
67	09 91 23 00 0239		LF	Paint Interior Metal Door Frame And Trim, 1 Coat Primer, Brush/Roller Work	\$137.81
			Installation	Quantity 187.00 x Unit Price 0.67 x Factor 1.0999 = Total 137.81	
68	09 91 23 00 0241		LF	Paint Interior Metal Door Frame And Trim, 2 Coats Paint, Brush/Roller Work	\$300.29
			Installation	Quantity 187.00 x Unit Price 1.46 x Factor 1.0999 = Total 300.29	
69	09 91 23 00 0246		EA	Paint Interior Metal Door, Both Faces, 1 Coat Primer, Brush/Roller Work	\$656.00
			Installation	Quantity 11.00 x Unit Price 54.22 x Factor 1.0999 = Total 656.00	
70	09 91 23 00 0246 0298		MOD	For >10 To 25, Deduct	-\$65.58
			Installation	Quantity 11.00 x Unit Price -5.42 x Factor 1.0999 = Total -65.58	
71	09 91 23 00 0248		EA	Paint Interior Metal Door, Both Faces, 2 Coats Paint, Brush/Roller Work	\$1,177.95
			Installation	Quantity 11.00 x Unit Price 97.36 x Factor 1.0999 = Total 1,177.95	
72	09 91 23 00 0248 0298		MOD	For >10 To 25, Deduct	-\$117.84
			Installation	Quantity 11.00 x Unit Price -9.74 x Factor 1.0999 = Total -117.84	
73	10 21 13 19 0071		EA	36" x 60", Overhead Braced, Antimicrobial Solid Plastic (HDPE), One Compartment Corner Unit, Complete Toilet Partition	\$4,575.60
			Installation	Quantity 3.00 x Unit Price 1,324.69 x Factor 1.0999 = Total 4,371.08	
			Demolition	Quantity 3.00 x Unit Price 61.98 x Factor 1.0999 = Total 204.52	
74	10 21 13 19 0085		EA	24" x 42" x 1", Wall Hung, Antimicrobial Recycled Solid Plastic (HDPE), Urinal Screen	\$714.36
			Installation	Quantity 2.00 x Unit Price 295.46 x Factor 1.0999 = Total 649.95	
			Demolition	Quantity 2.00 x Unit Price 29.28 x Factor 1.0999 = Total 64.41	

Contractor's Price Proposal - Detail Continues..

Work Order Number: 064415.00
Work Order Title: Dekalb County Sanitation North Collection Lot Bldg Upgrades

Proposal Name: Dekalb County Sanitation North Collection Lot Bldg Upgrades
Proposal Value: \$195,442.09

Sect.	Item	Modifier	UOM	Description	Line Total			
Labor	Equip.	Material	(Excluded if marked with an X)					
No Category Input								
75	10 28 13 13 0185		EA	42" Width x 72" Height, Vinyl Shower Curtain (Bobrick B-204-2)Requires 7 curtain hooks.	\$182.47			
				Quantity	Unit Price	Factor	=	Total
				5.00	28.68	x	1.0999	157.73
				5.00	4.50	x	1.0999	24.75
76	10 28 16 13 0026		EA	Shower Curtain Rod, Polished Chrome	\$395.74			
				Quantity	Unit Price	Factor	=	Total
				5.00	57.32	x	1.0999	315.23
				5.00	14.64	x	1.0999	80.51
77	10 73 13 13 0003		SF	Ribbed Aluminum Window Awning, Baked Enamel Finish	\$27,054.92			
				Quantity	Unit Price	Factor	=	Total
				1,109.00	22.18	x	1.0999	27,054.92
				Front/Back Awning & Ice Shed				
78	12 21 13 13 0005		SF	2" x 0.008" Slats, Aluminum Horizontal Louver Blinds	\$1,285.17			
				Quantity	Unit Price	Factor	=	Total
				132.00	8.59	x	1.0999	1,247.15
				96.00	0.36	x	1.0999	38.01
79	12 36 61 16 0004		SF	1/2" Solid Polyester (Corian) Countertop, Group B ColorsQuantity based on area of counter, backsplash and apron. Includes drilling holes for fixtures and 1-1/2" drop edge with 1/8" radius edges (when apron not used).	\$4,429.45			
				Quantity	Unit Price	Factor	=	Total
				117.00	34.42	x	1.0999	4,429.45
80	12 36 61 16 0004 0029		MOD	For Group D Color Material, Add	\$1,844.10			
				Quantity	Unit Price	Factor	=	Total
				117.00	14.33	x	1.0999	1,844.10
81	12 36 61 16 0004 0030		MOD	For Each LF Of Half Round Edge, Add	\$413.56			
				Quantity	Unit Price	Factor	=	Total
				47.00	8.00	x	1.0999	413.56
82	12 36 61 16 0004 0032		MOD	For Each LF Of Machining A Cove At Backsplash, Add	\$516.95			
				Quantity	Unit Price	Factor	=	Total
				47.00	10.00	x	1.0999	516.95
83	12 36 61 16 0004 0033		MOD	For Each Sink, Range Or Vanity Cutout, Add	\$33.00			
				Quantity	Unit Price	Factor	=	Total
				2.00	15.00	x	1.0999	33.00
84	13 34 19 00 0116		EA	Up To 12 SF, Window Opening, Metal Frame Rough Opening	\$810.64			
				Quantity	Unit Price	Factor	=	Total
				3.00	245.67	x	1.0999	810.64
				Two windows and one ice shed louver				
85	13 34 19 00 0181		EA	4' x 3' Fixed Louver	\$398.43			
				Quantity	Unit Price	Factor	=	Total
				1.00	362.24	x	1.0999	398.43
				Louver for Ice Shed				

Contractor's Price Proposal - Detail Continues..

Work Order Number: 064415.00
Work Order Title: Dekalb County Sanitation North Collection Lot Bldg Upgrades

Proposal Name: Dekalb County Sanitation North Collection Lot Bldg Upgrades
Proposal Value: \$195,442.09

Sect.	Item	Modifier	UOM	Description	Line Total
Labor	Equip.	Material	(Excluded if marked with an X)		
No Category Input					
86	22 13 13 00 0046	EA		Wall Mounted Lavatory, Single Fixture Rough-In, Polyvinyl Chloride (PVC) Waste And Vent PipeIncludes polyvinyl chloride (PVC) waste and vent pipe and copper domestic supply. Excludes fixture, carrier and faucet.	\$172.31
		Installation	Quantity	Unit Price	Factor = Total
			1.00 x	156.66 x	1.0999 = 172.31
87	22 13 16 00 0507	LF		2" Schedule 40 Polyvinyl Chloride (PVC) DWV Pipe AssemblyIncludes all fittings, couplings and hangers. Fittings are assumed every 10'. Not for use where detail is available.	\$2,416.19
		Installation	Quantity	Unit Price	Factor = Total
			182.00 x	12.07 x	1.0999 = 2,416.19
			Piping to new sink in break room and piping to new ice maker location/Includes temporary plumbing		
88	22 42 16 16 0016	EA		33" x 22" x 8" Stainless Steel Kitchen Sink, Double Bowl, 18 Gauge (Elkay LR3322)	\$1,864.09
		Installation	Quantity	Unit Price	Factor = Total
			1.00 x	1,694.78 x	1.0999 = 1,864.09
89	22 42 39 00 0031	EA		Widespread Lavatory Gooseneck Faucet With Chrome Lever Handles (Delta 3579LF-WFHDF)	\$226.10
		Installation	Quantity	Unit Price	Factor = Total
			1.00 x	205.56 x	1.0999 = 226.10
90	23 01 20 91 0024	EA		Shut Down Existing Interior Piping SystemIncludes lock out/tag out and average line tracing. Use when valves are greater than 25' from work. When the shut-off valves for multiple lines are located with a 10' radius, the quantity used shall be one.	\$256.28
		Installation	Quantity	Unit Price	Factor = Total
			2.00 x	116.50 x	1.0999 = 256.28
91	23 01 20 91 0034	EA		>500 To 1,000', 1-1/2" To 4" Diameter Pipe, Purge Liquid System	\$969.43
		Installation	Quantity	Unit Price	Factor = Total
			2.00 x	440.69 x	1.0999 = 969.43
			Hot and cold systems		
92	23 33 46 00 0006	LF		8" Diameter Flexible Duct, R4.2 Insulated With Polyester Inner Liner And Metallized Outer Jacket	\$578.99
		Installation	Quantity	Unit Price	Factor = Total
			80.00 x	6.58 x	1.0999 = 578.99
93	23 33 46 00 0018	EA		8" Diameter Flexible Duct Collar, Spin In Type, Sheet Metal, With Damper	\$366.66
		Installation	Quantity	Unit Price	Factor = Total
			8.00 x	41.67 x	1.0999 = 366.66
94	23 34 16 00 0256	EA		100 CFM, Ceiling Mounted, Polymeric Intake Grille, Light Duty Exhaust Fan With Light (Broan® 680)	\$760.32
		Installation	Quantity	Unit Price	Factor = Total
			3.00 x	210.32 x	1.0999 = 693.99
		Demolition	Quantity	Unit Price	Factor = Total
			3.00 x	20.10 x	1.0999 = 66.32
			Men's & Women's restroom		

Contractor's Price Proposal - Detail Continues..

Work Order Number: 064415.00
Work Order Title: Dekalb County Sanitation North Collection Lot Bldg Upgrades

Proposal Name: Dekalb County Sanitation North Collection Lot Bldg Upgrades
Proposal Value: \$195,442.09

Sect.	Item	Modifier	UOM	Description	Line Total	
Labor	Equip.	Material	(Excluded if marked with an X)			
No Category Input						
95	23 37 13 00 0026	EA		24" x 24" Ceiling Diffuser With Perforated Face, Flush Mount, Aluminum Construction With Damper	\$1,365.28	
			Quantity	Unit Price	Factor	Total
		Installation	8.00 x	140.98 x	1.0999 =	1,240.51
		Demolition	8.00 x	14.18 x	1.0999 =	124.77
96	23 37 13 00 0083	EA		24" x 24" Single Deflection Return/Exhaust Register, Aluminum, Opposed Blade Damper, Wall/Ceiling	\$1,748.05	
			Quantity	Unit Price	Factor	Total
		Installation	8.00 x	185.07 x	1.0999 =	1,628.47
		Demolition	8.00 x	13.59 x	1.0999 =	119.58
97	26 05 33 13 0006	CLF		1/2" Electrical Metallic Tubing (EMT) Conduit Assembly With 2 #10 Copper THHN And 1 #12 Copper Insulated Grounding ConductorIncludes conduit, set screw connectors, set screw couplings, straps, wire as indicated. Not for use where detail is available.	\$2,643.21	
			Quantity	Unit Price	Factor	Total
		Installation	5.81 x	413.62 x	1.0999 =	2,643.21
		Includes material for temporary power				
98	26 09 23 00 0587	EA		Low Voltage, Passive Infrared, Ceiling Mount, Standard Range, 360 Degree View Occupancy Sensor (Sensor Switch nLight® nCM 9)	\$4,314.41	
			Quantity	Unit Price	Factor	Total
		Installation	19.00 x	206.45 x	1.0999 =	4,314.41
99	26 24 13 00 0298	EA		70 - 100 Amp, 600 Volt, Type EHB, 3 Pole, Panel Mounted, Molded Case Circuit Breaker	\$728.44	
			Quantity	Unit Price	Factor	Total
		Installation	2.00 x	331.14 x	1.0999 =	728.44
		Breakers for temporary trailers				
100	26 27 26 00 0009	EA		1 Gang, 20 Amp, GFI, Duplex Receptacle Assembly	\$1,855.81	
			Quantity	Unit Price	Factor	Total
		Installation	25.00 x	56.06 x	1.0999 =	1,541.51
		Demolition	15.00 x	19.05 x	1.0999 =	314.30
		Interior Receptacles				
101	26 27 26 00 0095	EA		20 Amp, 2 Pole, 3 Wire, 125 Volt, Watertight Pin And Sleeve Receptacle (Hubbell 320R4W)	\$304.72	
			Quantity	Unit Price	Factor	Total
		Installation	2.00 x	138.52 x	1.0999 =	304.72
		Exterior Receptacles for Ice Makers				
102	26 27 26 00 0137	EA		1 Gang, 15 Amp, 120/277 Volt, SPST, Switch Assembly	\$206.13	
			Quantity	Unit Price	Factor	Total
		Installation	3.00 x	44.93 x	1.0999 =	148.26
		Demolition	3.00 x	17.54 x	1.0999 =	57.88
		Fan Switches				
103	26 51 13 00 0322	EA		4,000 Lumens, 2' x 4', Architectural, Lay-In/Troffer LED Fixture (CREE® CR24™)	\$14,115.15	
			Quantity	Unit Price	Factor	Total
		Installation	34.00 x	363.63 x	1.0999 =	13,598.53
		Demolition	22.00 x	21.35 x	1.0999 =	516.62

Contractor's Price Proposal - Detail Continues..

Work Order Number: 064415.00
Work Order Title: Dekalb County Sanitation North Collection Lot Bldg Upgrades

Proposal Name: Dekalb County Sanitation North Collection Lot Bldg Upgrades
Proposal Value: \$195,442.09

Sect.	Item	Modifier	UOM	Description	Line Total										
Labor	Equip.	Material	(Excluded if marked with an X)												
No Category Input															
104	26 53 00 00 0005		EA	Double Face, Thermoplastic Housing, LED Exit Sign With Battery Back-Up (Lithonia LQM ELN)	\$1,195.55										
			Installation	<table border="0"> <tr> <td>Quantity</td> <td>Unit Price</td> <td>Factor</td> <td>=</td> <td>Total</td> </tr> <tr> <td>8.00 x</td> <td>135.87 x</td> <td>1.0999</td> <td>=</td> <td>1,195.55</td> </tr> </table>	Quantity	Unit Price	Factor	=	Total	8.00 x	135.87 x	1.0999	=	1,195.55	
Quantity	Unit Price	Factor	=	Total											
8.00 x	135.87 x	1.0999	=	1,195.55											
105	26 56 23 00 0109		EA	60 LEDs, 68 System Watts, Wall Mount, Full Cutoff, LED Wall Pack (CREE® BetaLED® Edge® SEC-EDG)Includes 350mA or 525mA driver.	\$6,226.50										
			Installation	<table border="0"> <tr> <td>Quantity</td> <td>Unit Price</td> <td>Factor</td> <td>=</td> <td>Total</td> </tr> <tr> <td>7.00 x</td> <td>808.71 x</td> <td>1.0999</td> <td>=</td> <td>6,226.50</td> </tr> </table> Outdoor Lights	Quantity	Unit Price	Factor	=	Total	7.00 x	808.71 x	1.0999	=	6,226.50	
Quantity	Unit Price	Factor	=	Total											
7.00 x	808.71 x	1.0999	=	6,226.50											
106	31 05 16 00 0008		CY	#57 Stone Aggregate Fill (#4 To 1")	\$2,654.87										
			Installation	<table border="0"> <tr> <td>Quantity</td> <td>Unit Price</td> <td>Factor</td> <td>=</td> <td>Total</td> </tr> <tr> <td>42.00 x</td> <td>57.47 x</td> <td>1.0999</td> <td>=</td> <td>2,654.87</td> </tr> </table> 57 stone under awnings	Quantity	Unit Price	Factor	=	Total	42.00 x	57.47 x	1.0999	=	2,654.87	
Quantity	Unit Price	Factor	=	Total											
42.00 x	57.47 x	1.0999	=	2,654.87											
107	31 32 19 16 0009		SY	10 Oz/SY, 115 Mil, 250 LB Grab Tensile Nonwoven Polypropylene Geotextile Fabric (Carthage Mills FX-100HS)	\$110.47										
			Installation	<table border="0"> <tr> <td>Quantity</td> <td>Unit Price</td> <td>Factor</td> <td>=</td> <td>Total</td> </tr> <tr> <td>62.00 x</td> <td>1.62 x</td> <td>1.0999</td> <td>=</td> <td>110.47</td> </tr> </table>	Quantity	Unit Price	Factor	=	Total	62.00 x	1.62 x	1.0999	=	110.47	
Quantity	Unit Price	Factor	=	Total											
62.00 x	1.62 x	1.0999	=	110.47											
108	31 32 19 16 0009 0085		MOD	For >50 To 150, Add	\$17.73										
			Installation	<table border="0"> <tr> <td>Quantity</td> <td>Unit Price</td> <td>Factor</td> <td>=</td> <td>Total</td> </tr> <tr> <td>62.00 x</td> <td>0.26 x</td> <td>1.0999</td> <td>=</td> <td>17.73</td> </tr> </table>	Quantity	Unit Price	Factor	=	Total	62.00 x	0.26 x	1.0999	=	17.73	
Quantity	Unit Price	Factor	=	Total											
62.00 x	0.26 x	1.0999	=	17.73											
109	32 33 43 13 0008		EA	72" Backed Wood Or PolySite Bench (Landscapeforms Gretchen's)	\$2,002.36										
			Installation	<table border="0"> <tr> <td>Quantity</td> <td>Unit Price</td> <td>Factor</td> <td>=</td> <td>Total</td> </tr> <tr> <td>1.00 x</td> <td>1,820.49 x</td> <td>1.0999</td> <td>=</td> <td>2,002.36</td> </tr> </table>	Quantity	Unit Price	Factor	=	Total	1.00 x	1,820.49 x	1.0999	=	2,002.36	
Quantity	Unit Price	Factor	=	Total											
1.00 x	1,820.49 x	1.0999	=	2,002.36											
110	33 01 34 13 0002		GAL	Pump Out Septic Tank And Dispose	\$2,309.79										
			Installation	<table border="0"> <tr> <td>Quantity</td> <td>Unit Price</td> <td>Factor</td> <td>=</td> <td>Total</td> </tr> <tr> <td>6,000.00 x</td> <td>0.35 x</td> <td>1.0999</td> <td>=</td> <td>2,309.79</td> </tr> </table> All tanks pumped out twice per month	Quantity	Unit Price	Factor	=	Total	6,000.00 x	0.35 x	1.0999	=	2,309.79	
Quantity	Unit Price	Factor	=	Total											
6,000.00 x	0.35 x	1.0999	=	2,309.79											
111	33 34 13 33 0003		EA	500 Gallon One Compartment One Manhole High Density Polyethylene (HDPE) Septic Tank	\$2,275.67										
			Installation	<table border="0"> <tr> <td>Quantity</td> <td>Unit Price</td> <td>Factor</td> <td>=</td> <td>Total</td> </tr> <tr> <td>2.00 x</td> <td>1,034.49 x</td> <td>1.0999</td> <td>=</td> <td>2,275.67</td> </tr> </table> 2 - 500 gallon tanks	Quantity	Unit Price	Factor	=	Total	2.00 x	1,034.49 x	1.0999	=	2,275.67	
Quantity	Unit Price	Factor	=	Total											
2.00 x	1,034.49 x	1.0999	=	2,275.67											

Subtotal for No Category Input **\$195,442.09**

Proposal Total **\$195,442.09**

This total represents the correct total for the proposal. Any discrepancy between line totals, sub-totals and the proposal total is due to rounding.

The Percentage of NPP on this Proposal: %

Client - Dekalb County Sanitation

Detailed Scope of Work

Print Date: May 13, 2019
Work Order Number: 064415.00
Work Order Title: Dekalb County Sanitation North Collection Lot Bldg Upgrades
Contractor: GA03-2-072115-OML - Osprey Management LLC
Brief Scope: eziQC Statewide Contract #99999-SPD-S20160216-012 Project #064415 - Dekalb County Sanitation North Collection Lot Bldg Upgrades Building Upgrades

To: Clayton Cowart
Osprey Management LLC
7742 Spalding Drive
Norcross, GA 30092
678-313-7318

From: Cristina Fannin
DeKalb County Facilities Management
404-687-3528

The following items detail the scope of work as discussed at the site. All requirements necessary to accomplish the items set forth below shall be considered part of this scope of work.

Detailed Scope:

See attached Scope of Work and proposal for Project #064415 - Dekalb County Sanitation North Collection Lot Bldg. Upgrades. eziQC Statewide Contract #99999-SPD-S20160216-012

Owner Date

Contractor **Date**



Scope of Work

February 27, 2019

DeKalb County Sanitation

North Lot Renovation

Osprey Project Number: GA0060-179

EZIQC#: 64415.00

General

1. Summary Scope: Renovate the DeKalb County Sanitation North Lot Building.
2. **Project Address: 2315 Chamblee-Tucker Rd. Chamblee, GA 30341**
3. Osprey's proposal package is based on the following documents and this Scope of Work
 - a. Drawings: Dekalb North Lot Plans dated 1/30/19
 - b. Submittals: Paint, VCT/Base, Ceiling Grid/Tile, Doors/Hardware, Windows/Blinds. Countertops/Plastic Laminate, Sink/Faucet, Exhaust Fans

01-22-23

- 01.1. Supply/Install 1 (one) 40' connex box for Owner to store items during the renovation. **Loading/Unloading the connex box of any kind is excluded from this proposal.**
- 01.2. Supply/Install 2 (two) 12'x60' temporary trailers adjacent to area of work. Trailers will be placed no more than 20LF away from the area of work. Any damages that may occur to the trailers during rental will be back charged to DeKalb County.

01-74-00 Cleaning

- 01.1. Scrub and disinfect all areas of work, including, but not limited to: walls, countertops, floors, fixtures, partitions, windows, blinds, doors, etc.
- 01.2. Strip/wax all VCT once work is complete.

03-20-00 Grading (Outside Awning Area)

- 03.1. Supply/Install geotextile fabric and compacted #57 stone over the existing dirt area in between the railroad tie wall and the concrete where East awning is to be installed. Total area of geotextile and #57 stone is approximately 350SF.
 - A few additional railroad ties will be required to make #57 stone area level with the existing concrete.

09-00-00 Interior Finishes

- 09.1. Demo all existing walls, doors/frames, partitions, windows, ceiling grid/tile and blinds per drawing A1.
- 09.2. Supply/Install new walls, doors/frames, partitions, windows and blinds per Drawing A2.

- New walls to be 5/8" GWB with 3 5/8" metal studs.
 - See door schedule on Drawing A4 for details.
 - Patch/Refinish existing GWB as needed.
 - New windows to match existing windows that are to remain.
 - All existing blinds are to be replaced.
 - Ceiling height to be 8'.
- 09.3. Supply/Install new 2x2 ceiling grid and tile in all areas of work per Drawing A3.
- 09.4. All existing doors are to be re-keyed to match the new work. 4 keys should be supplied per office and 4 master keys are to be supplied to the Owner.
- 09.5. Outside doors and the ice maker doors are to be keyed alike. 12 keys are to be provided to the Owner.
- 09.6. Supply/Install one (1) new bench to match existing in the locker room.
- 09.7. Supply/Install a lock on the women's restroom that may be locked from the inside and only unlocked with a master key on the outside.
- 09.8. Supply/Install new shower curtains for both restrooms.
- 09.9. Supply/Install new HDPE urinal screens and toilet partitions in the men's restroom.

09-60-00 Flooring

- 09.61. Demo/Supply/Install new 4" rubber cove base in all areas of work.
- 09.62. Demo/Supply/Install no more than 600SF of VCT in existing areas where replacement is needed.

09-90-00 Coatings

- 09.10. Paint all interior walls with (1) Coat Primer and (2) Coats of Paint. (SW Semi-Gloss Latex or approved equal)
- 09.11. Paint all HM Doors and frames with (1) Coat Primer and (2) Coats of Paint. (SW Semi-Gloss Latex or approved equal)
- 09.12. Ceiling height is 8'.
- 09.13. Supply one gallon of each color paint used for attic stock.

10-73-13 Metal Awning

- 10.1. Supply/Install 3 metal awnings per Drawing A4.
- 10.2. Awning for ice makers to be totally enclosed and contain a lockable, double-door system.
- 10.3. Awnings at front and back of building to be the full width of the building and should extend 14' out from the building.
- 10.4. All awnings should be supported by concrete footings.
- 10.5. All awnings should be attached to the existing building but should be self-supported.
- 10.6. All awnings should have a minimum of 7 ½ feet of head clearance and sloped to drain appropriately. Care should be taken to not block any windows during installation.
- 10.7. All awnings to have an aluminum framed truss and a standing seam roof.
- 10.8. All awnings should meet both State and County codes.

12-35-00 Millworks/Countertops

- 12.1. Supply/Install plywood sub-top with plastic laminate support legs per Drawing A2 in Rooms 6, 9 and 12.

- 12.2. Supply/Install new 28" wide solid surface countertop per Drawing A2 in Rooms 6, 9 and 12. (Staron Sanded Series)
- 12.3. Double door base cabinet to be built for sink in Locker Room. Solid surface countertop to be installed on top of base cabinet.

22-10-00 Plumbing

- 22.1. Remove/Reinstall ice makers per Drawing A2. Supply water to new location. Reuse existing drain lines.
- 22.2. Supply/Install new double bowl sink with faucet per Drawing A2.
- 22.3. Remove/Reapply caulking around the base of all toilets.
- 22.4. Supply/Install/Demo plumbing to the temporary trailers during construction.

23-01-00 Mechanical

- 23.1. Supply/Install new supply and return grilles into the new ceiling that is to be installed.
- 23.2. Adjust duct work as needed for new ceiling. No more than 10LF per supply/return.
- 23.3. Demo/Supply/Install new exhaust fans in both restrooms.

26-00-00 Electrical

- 26.1. Supply/Install electrical outlets and data ports per Drawing A2.
- 26.2. Supply/Install 2x4 LED, lay-in lights into the new ceiling grid per Drawing A3.
- 26.3. All lights switches to have motion sensors as well as manual switches.
- 26.4. Relocate power to new ice makers per Drawing A2.
- 26.5. Correctly trace and re-label electrical panel.
- 26.6. Supply/Install outdoor lighting underneath the front and back awnings with photo electric sensors to turn them on and off.
- 26.7. Supply/Install EXIT lights per Code inside building.
- 26.8. Supply/Install/Demo power to the temporary trailers during construction.

Safety:

1. All work shall be performed in accordance with OSHA and EM 385-1-1 Safety Standards.

DETAILS THAT APPLY TO ALL WORK AREAS:

1. Contractor shall utilize the latest issue of the NJPA Specifications, and perform all work to the latest building codes.
2. Maintain clean work areas at all times. Remove and dispose of all demolished materials and construction debris. Site must be cleaned every day at the completion of work. Contractor shall take extra precautions to pick up all debris, from the ground and all surrounding area, and finishing with magnetic pickup to insure safety and cleanliness.
3. All measurements and quantities supplied in this scope of work are approximate in nature and are supplied as a convenience for the contractor. The contractor is responsible for field verification of all measurements and quantities.
4. Contractor shall verify all new and existing conditions and dimensions at job site prior to the start of construction and during construction.
5. The Contractor shall perform all work, make all deliveries and have access to work areas during normal business hours, upon written permission of the Owner, may make deliveries and have access to work areas at any hour of any day, but shall bear without any contribution from the Owner, any

extra expense and responsibility for doing so, including, without limitation, its own overtime expense.

6. Contractor shall coordinate inspections as required.
7. Contractor shall provide a detailed schedule to submit with this proposal package.
8. Contractor shall coordinate all parking with the owner prior to beginning work.
9. Contractor shall obtain approvals in advance for all lay down and storage areas.
10. All salvageable materials remain the property of the owner unless otherwise agreed.
11. Contractor shall coordinate inspections as required.
12. Contractor is responsible for protection of all existing surfaces including those not in the scope of work from construction dust, debris or damage during construction through final acceptance.
13. Final clean up and disposal: remove debris, rubbish, and waste material from the property. Upon completion of work, all construction areas shall be left clean and free from debris.
14. Prior to the commencement of work, the contractor will provide a list of all employees to the owner. All Contractor employees, vendors and subcontractors (i.e. anyone entering the property associated in any manner with the Contractor and/or this project) are required to have valid unexpired photo identification.
15. Closeout:
 - a. Clean entire work area.
 - b. Meet all close-out submittal requirements as identified in the contract documents.
 - c. Promptly remove from site all tools, equipment and excess materials.
16. This proposal assumes the inclusion of partial progress payments throughout the course of construction.

EXCLUSIONS/CLARIFICATIONS:

1. Davis-Bacon Wage Rates and/or any applicable wage rates.
2. Surveys or engineering.
3. This proposal does not include the testing or abatement of any hazardous material. The material that is being removed has not been identified as Presumed Asbestos-Containing Material.
4. Osprey shall give client at least 1-week notice prior to any new material installations.
5. **No furniture, file cabinet, or shelf moving is included in this proposal.**
6. This proposal excludes structural repairs or surveys to the masonry or foundation.
7. No new restroom fixtures, sinks or grab bars/handrails are included in this proposal.
8. No new furniture or appliances are included in this proposal.
9. It is expected that all existing electrical work has been done to Code. Any additional work required to bring the existing electrical work up to Code will be done through a Change Order.
10. Data cabling is excluded from this proposal. Pull strings will be set for data cabling by others.
11. Wood blocking at new countertops is excluded.
12. BEST Cores are excluded from this proposal.
13. Formal design/engineering of the awnings and their respective footings is excluded from this proposal.
14. Any damages that occur to the temporary trailers during the rental will be back charged to DeKalb County.
15. Any damages that occur to the temporary utilities to the trailers during construction will be back charged to DeKalb County.

PROJECT SCHEDULE:

1. **Work to be performed during normal business hours (Monday – Friday 8:00 a.m. to 5:00 p.m.).**
2. Project construction will be scheduled upon receipt of the Purchase Order.
3. The Contractor will coordinate a specific schedule for on-site activities with the Owner's representative.

PERMITTING:

At the time of issuance of a Purchase Order for this Work, permitting is included in the Scope of Work.

Owner RESPONSIBILITIES:

1. Owner shall provide access to the worksite during specified working hours.
2. Provide staging area for equipment, vehicles and materials delivered to the site.
3. Provide location for dumpster adjacent to project site
4. Supply prompt approval/comments on any submittals or RFI's submitted by the Contractor to Owner.
5. Notify, coordinate, relocate and re-route all vehicles and pedestrians to accommodate progression of the work per the construction schedule.

CONTRACT DOCUMENT ORDER OF PRECEDENCE:

Contract documents shall govern in the order first listed below:

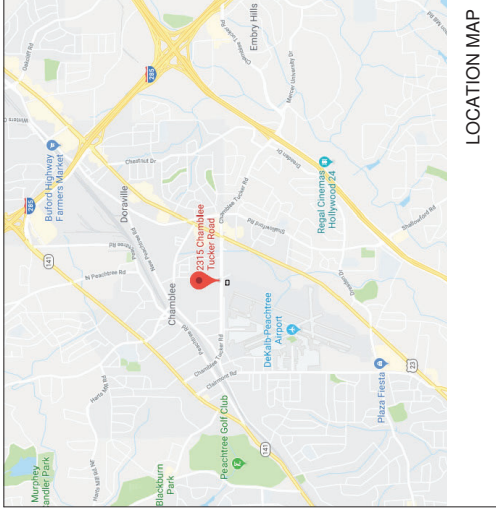
1. This Detailed Scope of Work
 - a. Other documents referenced immediately above.
2. EZIQC master contract documents

**CONSTRUCTION PLANS FOR
OFFICE AND LOCKER ROOM BUILDING
NORTH COLLECTION LOT
FOR
DEKALB COUNTY SANITATION
DEPARTMENT
DEKALB COUNTY GOVERNMENT**

OWNER:
DeKalb County Sanitation
3720 Leroy Scott Dr.
Decatur, GA 30032

GENERAL CONTRACTOR:
Osprey Management
1640 Powers Ferry Road
Building 26 - Suite 200
Marietta, GA 30067

SITE ADDRESS:
DeKalb North Collection Lot
2315 Chamblee-Tucker Road
Chamblee, GA 30341



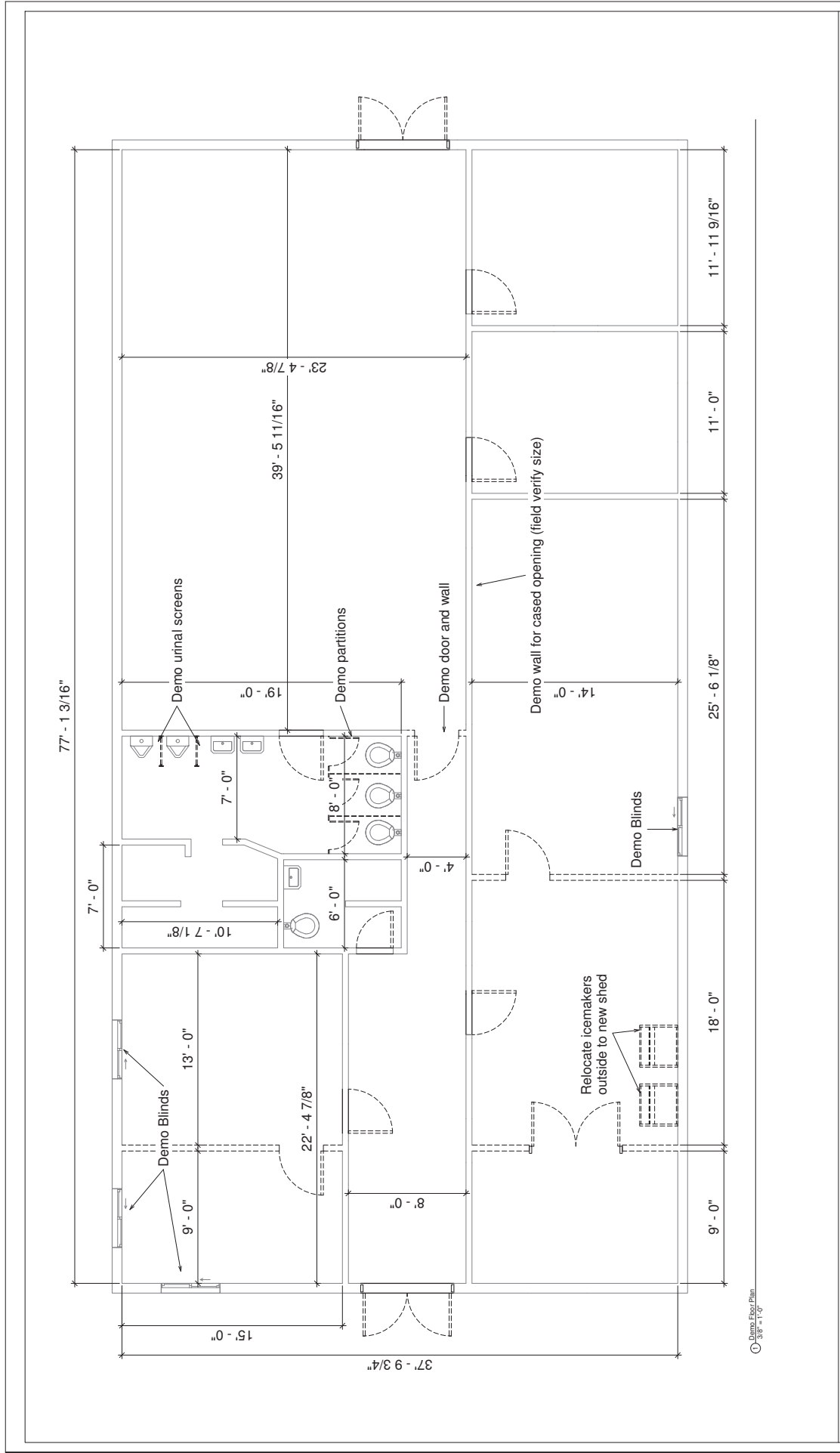
Index of Drawings	
A0	Cover Page
A1	Client Plan
A2	Proposed Renovation
A3	Reflected Ceiling Plan
A4	Elevations




**DeKalb County Sanitation
Office & Locker Room North Lot**
2315 Chamblee-Tucker Road, Chamblee, GA 30341

No.	Description	Date

Cover Page	
Project number	GA0006179
EDOC number	064416100
Date	January 30, 2019
Drawn by	SJS
Checked by	CC
Scale	AS IS
A0	



① Demo Floor Plan
3/8" = 1'-0"



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**Dekalb County Sanitation
Office & Locker Room North Lot**

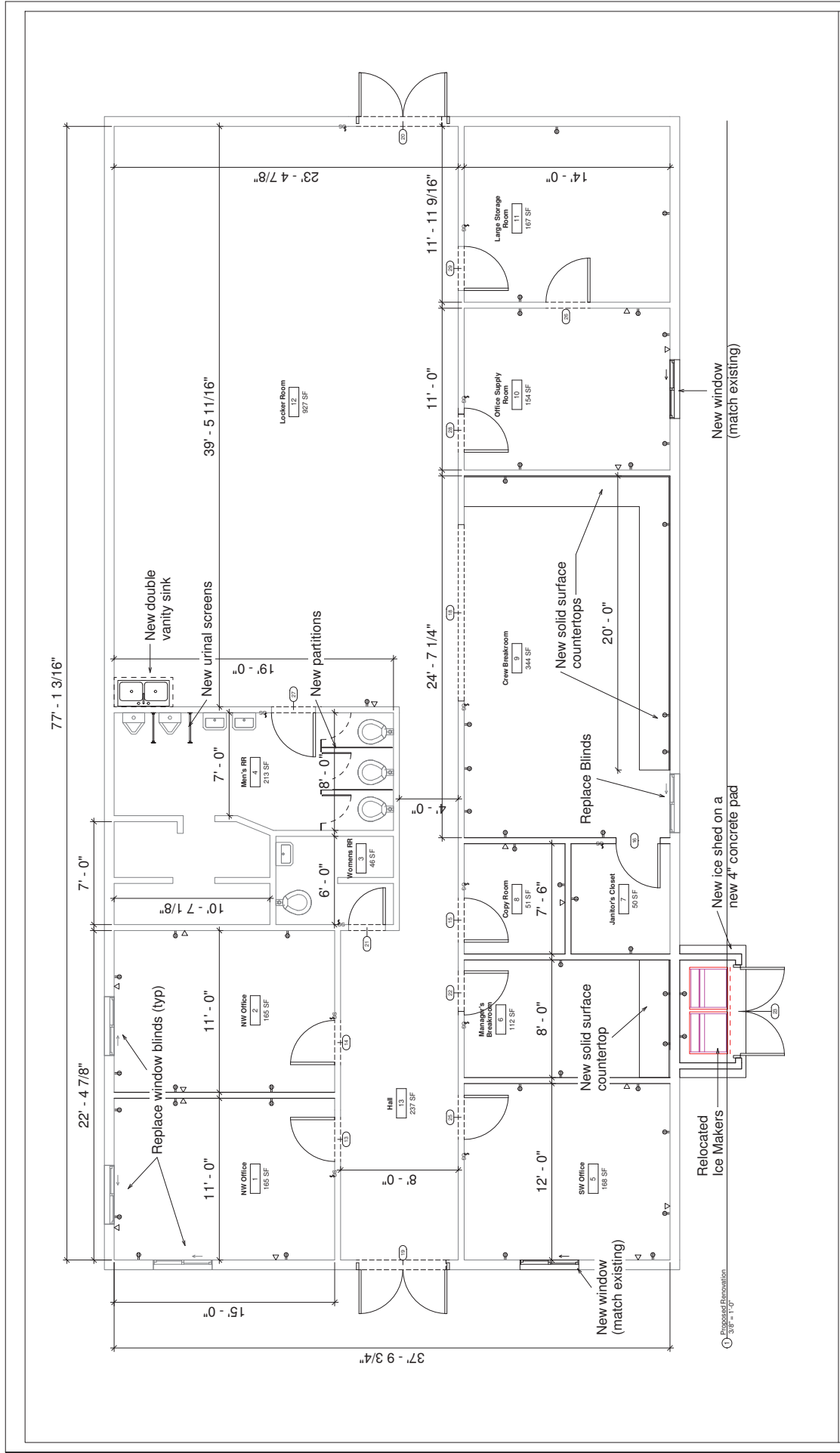
2315 Chamblee-Tucker Road, Chamblee, GA 30041

No.	Description	Date

Project number	GA0000179
EDOC number	04445.00
Date	January 20, 2019
Drawn by	SKS
Checked by	CC
Scale	3/8" = 1'-0"

Demo Plan

A1



Proposed Renovation	
Project number	GA0000179
ES&C number	004416.00
Date	January 30, 2019
Drawn by	SAB
Checked by	CC
Scale	3/8" = 1'-0"

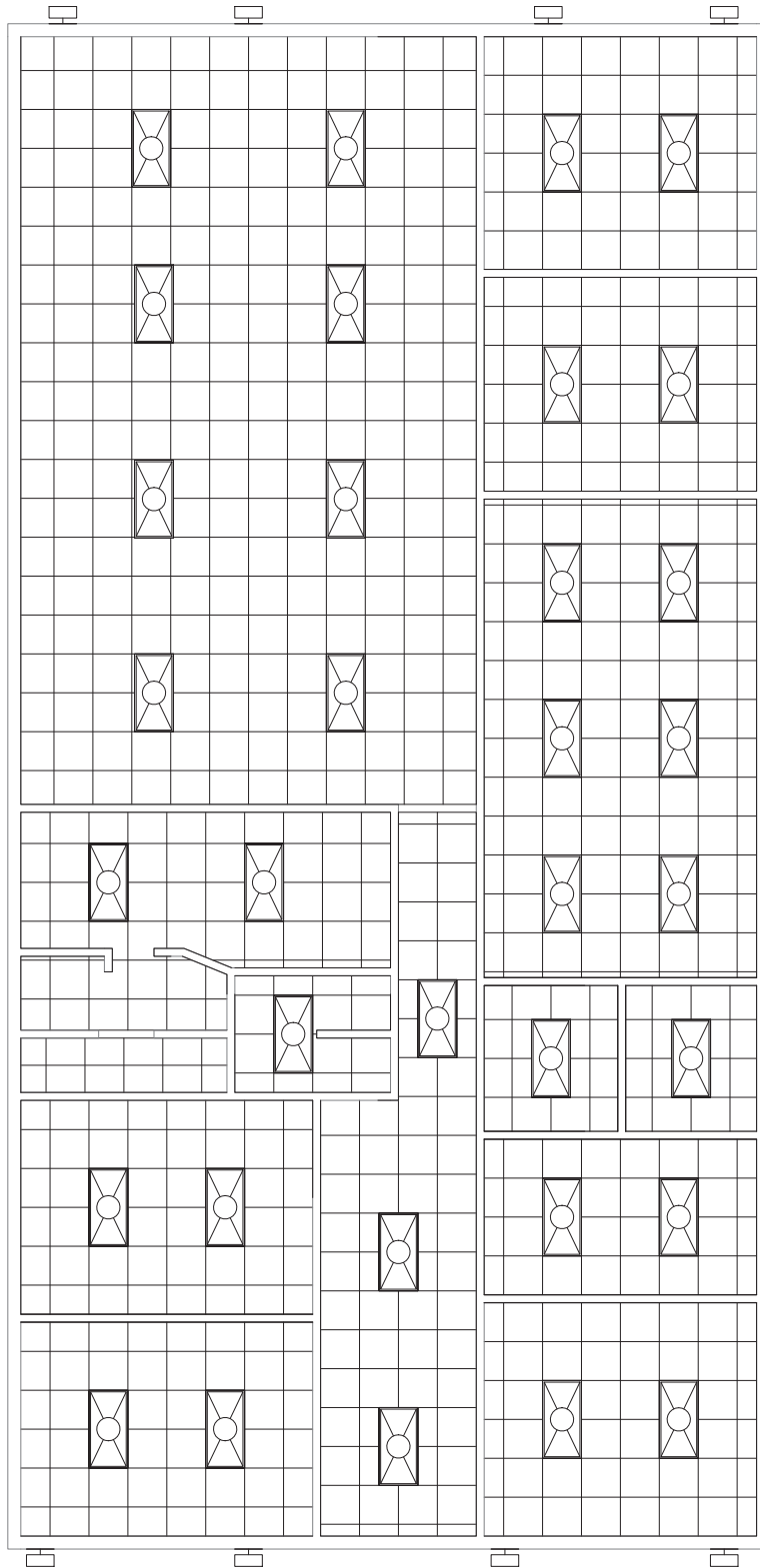
No.	Description	Date

**DeKalb County Sanitation
Office & Locker Room North Lot**

2315 Chamblee-Tucker Road, Chamblee, GA 30041



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Occupancy Sensor
 Standard Duplex Outlet
 Standard Data Outlet
 Supply register
 Return register
 2x4 LED Light
 Exterior Wall Light

○ Equipment Legend
 1/8" = 1'-0"

○ Reflected Ceiling Plan
 3/8" = 1'-0"

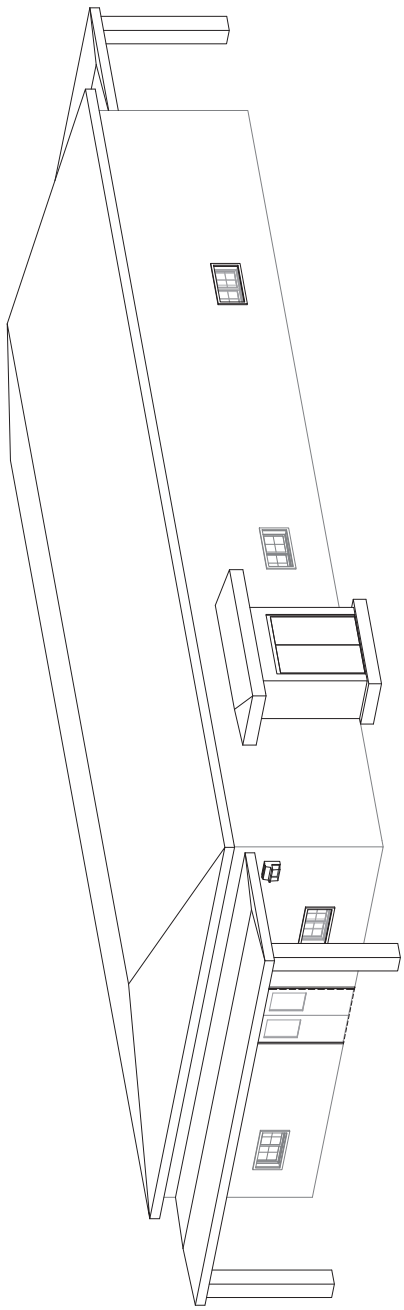
Reflected Ceiling Plan		A3
Project number	GA000-179	
EDOC number	00445.00	
Date	January 30, 2019	
Drawn by	SJS	
Checked by	CC	
Scale	As Shown	

No.	Description	Date

**DeKalb County Sanitation
 Office & Locker Room North Lot**
 2515 Chamblee-Tucker Road, Chamblee, GA 30041



www.contractosprey.com



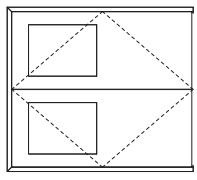
③ 3D View



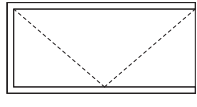
① South
1/8" = 1'-0"

② North
1/8" = 1'-0"

Door Finish Schedule				
Door Num	Door Size	Door Material	Finish	Comments
13	36" x 84"	HM	PAINTED	Replace door, frame & lockset
14	36" x 84"	HM	PAINTED	Replace door, frame & lockset
15	36" x 84"	HM	PAINTED	Replace door, frame & lockset
16	36" x 84"	HM	PAINTED	Replace door, frame & lockset
18	Custom Opening	HM	PAINTED	Cancel opening. Field verify size.
19	6'-0" x 8'-0"	HM	PAINTED	Cancel opening. Field verify size.
20	6'-11 1/2" x 8'-0"	HM	PAINTED	Cancel opening. Field verify size.
21	30" x 84"	HM	PAINTED	HM Vision Glass with new frame & lockset
22	36" x 84"	HM	PAINTED	Replace door, frame & lockset
23	36" x 84"	HM	PAINTED	Replace door, frame & lockset
24	36" x 84"	HM	PAINTED	Replace door, frame & lockset
25	36" x 84"	HM	PAINTED	Replace door, frame & lockset
26	36" x 84"	HM	PAINTED	Replace door, frame & lockset
27	36" x 84"	HM	PAINTED	Replace door, frame & lockset
28	36" x 84"	HM	PAINTED	Replace door, frame & lockset
29	36" x 84"	HM	PAINTED	Replace door, frame & lockset



Type B



Type A

○ Door Legend
1/2" = 1'-0"



**Dekalb County Sanitation
Office & Locker Room North Lot**
2515 Chambee-Tucker Road, Chamblee, GA 30041

Elevations

Project number	GA0000179
EDOC number	004416.00
Date	January 30, 2019
Drawn by	8/08
Checked by	CC

A4

Scale: As Noted