



DeKalb County Department of Planning & Sustainability

330 Ponce De Leon Avenue, Suite 300

Decatur, GA 30030

(404) 371-2155 / plandev@dekalbcountyga.gov

Planning Commission Hearing Date: November 5, 2020

Board of Commissioners Hearing Date: November 19, 2020

STAFF ANALYSIS

Case No.: SLUP-20-1244242 **Agenda #:** N. 8

Location/Address: 2030 and 2020 Wesley Chapel Road, Decatur, GA **Commission District:** 5 **Super District:** 7

Parcel ID(s): 15-159-09-007 & -071

Request: Special Land Use Permit in the R-85 (Residential Medium Lot--85) District to expand a place of worship approved pursuant to SLUP-19-1243513 by constructing the new sanctuary on expanded property, in accordance with Chapter 27, Article 4 of the DeKalb County Zoning Ordinance, Table 4.1.

Property Owner(s): Shy Temple Christian Methodist Episcopal Church

Applicant/Agent: Shy Temple Christian Methodist Episcopal Church

Acreage: 12 acres

Existing Land Use: The Shy Temple Church and a single-family house

Surrounding Properties: To the north, northeast, and east, southeast, and south: single-family residential (zoned R-85); to the southwest and northwest: single-family residential (zoned R-75); to the west: the South DeKalb Business Park (zoned O-I).

Comprehensive Plan: Suburban **Consistent** **Inconsistent**

| | |
|--|--|
| Proposed Square Ft.: 18,362 square feet | Existing Square Feet: 8,518 square feet |
| Proposed Lot Coverage: 17% | Existing Lot Coverage: 8.3% |

Zoning History:

In November, 2019, the Board of Commissioners approved a Special Land Use Permit (SLUP-19-1243513) for the Shy Temple Church to demolish the existing sanctuary and construct a new, 10,000 square foot sanctuary at the location of the existing building. The church has purchased an adjoining nine-acre property and now proposes to keep the existing sanctuary building and construct the new sanctuary on the adjoining property. Enlargement of the property and the increase in the number of buildings on the site necessitate the Special Land Use Permit.

SITE AND PROJECT ANALYSIS

The subject property is a twelve-acre site located approximately 1,500 feet south of the commercial node at the intersection of Wesley Chapel Road and Covington Highway. It has approximately 372 feet of frontage on Wesley

Chapel Road, a four-lane major arterial. The property is developed with the Shy Temple Christian Methodist Episcopal Church and a 1,800 square foot detached house. Constructed in 1979, the church consists of a 2,869 square foot, 100 seat sanctuary building at the front of the site and a 3,329 square foot Sunday school/administrative building behind the sanctuary. A 26-space asphalt parking lot is located between the two buildings and on the north side of the sanctuary building. The remainder of the site is wooded.

The twelve-acre church property is located opposite a row of office-institutional and commercial uses, zoned in the early to mid-1990s to O-I (Office-Institutional), NS (Neighborhood Services), and C-1 (Local Commercial), that extend southwards along Wesley Chapel Road from the Wesley Chapel-Covington Highway commercial node. The South DeKalb Business Park, a relatively small (approximately 30,000 square feet) cluster of office buildings constructed in 2006, is located directly across the street. The other properties are converted single-family residences that are used for insurance agencies and similar businesses. Except for these low-intensity non-residential uses and the Church of Jesus Christ, located approximately 250 feet to the south of the subject property, the surrounding area is single-family residential.

The proposal currently under consideration is to construct a new, 9,844 square foot, 372-seat sanctuary building on the newly acquired, adjoining property. Vehicles would access the sanctuary via an extension of the existing driveway; no new curb cuts are proposed. The front of the new sanctuary would be oriented to Wesley Chapel Road. Sixty-one surface parking spaces would be located to the front and rear of the sanctuary. An enclosed dumpster would be located about 130 feet from the southeast corner of the building. The application states that there would be no change in the current hours of operation, which are Sundays 8:45 AM – 12:00 Noon, Tuesdays 6:15 PM – 7:30 PM, and Wednesdays 12:00 Noon – 1:00 PM.

Renderings and elevations submitted by the applicant show that the new sanctuary building would be one story with a peaked roof. The front finish would be 60% stucco veneer and 40% pre-finished metal. The church received an administrative waiver from the Article 5 building materials regulations to have 60% of the sides and 100% of the rear of the building clad with pre-finished metal.

Compliance with District Standards:

| R-85 STANDARD | | REQUIREMENT | PROVIDED/PROPOSED | COMPLIANCE |
|------------------------|---------------------------|--|--|------------|
| MIN. LOT WIDTH | | R-85 standard of 85 ft. superseded by place of worship standard of 100 feet | 372 feet | Yes |
| MIN. LOT AREA | | R-85 standard superseded by place of worship standard of 3 acres | 12 acres | Yes |
| MAX. LOT COVERAGE | | 35% | 83% | Yes |
| MAX. HEIGHT | | 35 ft. | 31 ft., 7in. | Yes |
| MIN. BUILDING SETBACKS | FRONT (from thoroughfare) | 50 feet | 382 feet | Yes |
| | INTERIOR LOT - SIDE | R-85 standard superseded by place of worship requirement of 50 ft. bldg. setback from adjacent R districts | New sanctuary: north side: 60 ft.; south side: 218 ft. | Yes |
| | REAR | 40 feet | New sanctuary: 998 ft. | Yes |

| R-85 STANDARD | REQUIREMENT | PROVIDED/PROPOSED | COMPLIANCE |
|---|---|--|--|
| MIN./MAX. PARKING | Min.: 1 space per 4 seats in largest assembly room (372/4) = 93 spaces Max.: 1 space per 2 seats in largest assembly room (372/2) = 186 spaces | 87 spaces | Applicant will apply for admin. variance to reduce parking by 9 spaces |
| MIN. STREETScape DIMENSIONS - PROPERTY FRONTAGE | 10-ft. landscape strip back of curb, 6-ft. sidewalk, pedestrian scale lights 80 ft. apart, street trees 50 ft. on center in landscape strip | Landscape strip < 10 ft., sidewalk to be widened to 6 ft., street trees and light poles back of sidewalk w/compliant spacing | Applicant will apply for admin. variance for non-compliant items. |
| BIKE LANES | Required along Wesley Chapel Road, as per Sec. 27-14-190, subject to approval by Public Works Dept. | Not shown. | Subject to approval by Transportation Division |

SUPPLEMENTAL REGULATIONS

- A. Any building or structure established in connection with places of worship, monasteries or convents shall be located at least fifty (50) feet from any residentially zoned property.
The new sanctuary building and the existing Sunday school/administrative building meet this standard.
- B. The required setback from any street right-of-way shall be the front-yard setback for the applicable residential district.
The new sanctuary building meets this standard.
- C. The parking areas and driveways for any such uses shall be located at least twenty (20) feet from any property line, with a visual screen, provided by a six-foot-high fence or sufficient vegetation established within that area.
The driveway on the north side of the new sanctuary building meets this standard. The applicant proposes to screen the proposed driveway/parking area with trees and with a six-foot high fence The east parking area meets the standard, as it is located several hundred feet from applicable property lines.
- D. Places of worship, convents and monasteries shall be located on a minimum lot area of three (3) acres and shall have frontage of at least one hundred (100) feet along a public street.
The subject property meets this standard.
- E. Places of worship, convents and monasteries shall be located only on a thoroughfare or arterial.
The subject property meets this standard. It is located on Wesley Chapel Road, a major arterial.

LAND USE AND ZONING ANALYSIS

Section 27-873 of the DeKalb County Zoning Ordinance, "Special land use permit; criteria to be applied" states that the following criteria shall be applied in evaluating and deciding any application for a Special Land Use Permit. No application for a Special Land Use Permit shall be granted unless satisfactory provisions and arrangements have been made concerning each of the following factors, all of which are applicable to each application.

- A. Adequacy of the size of the site for the use contemplated and whether or not adequate land area is available for the proposed use including provision of all required yards, open space, off-street parking, and all other applicable requirements of the zoning district in which the use is proposed to be located:** The size of the subject property is adequate for the proposed church expansion. The property will accommodate the proposed new building without encroachment into required yard setbacks. Parking throughout the site will be slightly less than the required minimum number of off-street parking spaces. The problem could be solved by constructing more parking, but the application indicates that an administrative variance will be sought instead of clearing and paving for more spaces. After construction of the new sanctuary and new parking lot, the site will comply with applicable requirements of the R-85 district.
- B. Compatibility of the proposed use with adjacent properties and land uses and with other properties and land uses in the district:** The proposed expansion would not change the use of the property nor make it incompatible with surrounding properties and land uses. Proposed screening appears to be satisfactory to mitigate impacts on adjoining land uses to the north.
- C. Adequacy of public services, public facilities, and utilities to serve the contemplated use:** Public services, public facilities, and utilities appear to be adequate to serve the existing place of worship, and there has been no other indication from reviewing departments and agencies that the new sanctuary will generate increased demands on the public infrastructure to the extent that the infrastructure would become inadequate. The Board of Health has commented that septic was installed on the property in 1983; however the property was subsequently tied in to the County sewer system.
- D. Adequacy of the public street on which the use is proposed to be located and whether or not there is sufficient traffic carrying capacity for the proposed use, so as not to unduly increase traffic or create congestion in the area:** Comments by the County Division of Transportation and the County Division of Traffic Engineering indicate that Wesley Chapel Road and other access routes have sufficient traffic carrying capacity for the proposed use.
- E. Whether or not existing land uses located along access routes to the site would be adversely affected by the character of the vehicles or the volume of traffic to be generated by the proposed use:** Except for an occasional service vehicle, the church currently generates traffic comprised of passenger cars. The proposed new sanctuary is not expected to change the character of vehicles currently generated by the church. The volume of traffic resulting from the church expansion is not expected to adversely affect land uses along access routes to the site.
- F. Ingress and egress to the subject property and to all proposed buildings, structures, and uses thereon, with particular reference to pedestrian and automotive safety and convenience, traffic flow and control, and access in the event of fire or other emergency:** Ingress and egress via the proposed driveway that connects Wesley Chapel Road to the church's parking lot appears to be satisfactory. The expanded parking lot is laid out with parking spaces and aisles that meet the standards of the zoning ordinance. Driveway and parking lot geometrics appear to provide satisfactory access for fire and emergency vehicles.
- G. Whether or not the proposed use would create adverse impacts upon any adjoining land use by reason of noise, smoke, odor, dust, or vibration that would be generated by the proposed use:** Expansion of the sanctuary and parking lot are expected to generate increased levels of noise and activity on the site. However,

the proposed landscape and fence screens appear to be adequate to mitigate any impacts on adjoining properties.

- H. **Whether or not the proposed use would create adverse impacts upon any adjoining land use by reason of the hours of operation of the proposed use:** The proposed use is not expected to create adverse impacts upon any adjoining land use due to its hours of operation.
- I. **Whether or not the proposed use would create adverse impacts upon any adjoining land use by reason of the manner of operation of the proposed use:** The manner in which the church would be operated would remain the same and is expected to continue to be acceptable.
- J. **Whether or not the proposed plan is otherwise consistent with the requirements of the zoning district classification in which the use is proposed to be located:** After construction of the new sanctuary and new parking lot, the site will comply with applicable requirements of the R-85 district.
- K. **Whether or not the proposed use is consistent with the policies of the comprehensive plan:** The proposal is consistent with the policies of the 2035 Comprehensive Plan. It would allow an existing place of worship to thrive and to provide worship services for members of the church and the surrounding community.
- L. **Whether or not the proposed plan provides for all buffers and transitional buffer zones where required by the regulations of the district in which the use is proposed to be located:** Landscape screening would be provided between the driveway and parking areas as required by the supplemental regulations for places of worship. Staff recommends that the landscape screen along the north property line consist of evergreen trees.
- M. **Whether or not there is adequate provision of refuse and service areas:** Provision of refuse and service areas is satisfactory.
- N. **Whether the length of time for which the special land use permit is granted should be limited in duration:** Because the proposed use of the site is suitable, there is no reason to limit its duration.
- O. **Whether or not the size, scale, and massing of proposed buildings are appropriate in relation to the size of the subject property and in relation to the size, scale, and massing of adjacent and nearby lots and buildings:** The proposed sanctuary building does not comply with the requirement that the façade walls be no longer than 40 feet without recesses and projections; however, the applicant has received an administrative waiver from this regulation.
- P. **Whether the proposed plan would adversely affect historic building sites, districts, or archaeological resources:** No historic buildings, sites, districts, or archaeological resources are located on the property or in the surrounding area.
- Q. **Whether the proposed use satisfies the requirements contained within the supplemental regulations for such special land use permit:** The plan complies with all supplemental regulations.
- R. **Whether or not the proposed building as a result of its proposed height, would create a negative shadow impact on any adjoining lot or building:** Because of its distance from adjoining buildings and one story height, the proposed building is not expected to create a negative shadow impact on any adjoining lot or building.
- S. **Whether the proposed use would be consistent with the needs of the neighborhood or of the community as a whole, be compatible with the neighborhood, and would not be in conflict with the overall objectives of the comprehensive plan:** The proposed use would be consistent with the needs of the neighborhood and of the community as a whole, would be compatible with the neighborhood, and would not be in conflict with the overall objectives of the comprehensive plan.

STAFF RECOMMENDATION: APPROVAL WITH CONDITIONS.

The proposal is consistent with the policies of the 2035 Comprehensive Plan. It would allow an existing place of worship to thrive and to provide worship services for members of the church and the surrounding community. The proposed expansion would not change the use of the property nor make it incompatible with surrounding properties and land uses. Proposed screening appears to be satisfactory to mitigate possible adverse impacts on adjoining land uses. The volume of traffic resulting from the church expansion is not expected to adversely affect land uses along access routes to the site, and comments by the County Division of Transportation and the County Division of Traffic Engineering indicate that Wesley Chapel Road and other access routes have sufficient traffic carrying capacity for the expanded church. The proposed use would be consistent with the needs of the neighborhood and of the community as a whole. Therefore, the Department of Planning and Sustainability recommends "Approval" with the following conditions:





1. The Special Land Use Permit shall be issued to the Shy Temple Christian Methodist Episcopal Church for construction of a new sanctuary building, and shall be transferrable in accordance with Section 27-7.4.12 of the DeKalb County Code.
2. Redevelopment of the subject property for a new sanctuary building shall be consistent with the site plan titled, "Site Plan Sheet C-5.0" prepared by Cunningham & Co. Engineers, dated 09-16-20.
3. Landscaping shall be in substantial compliance with the landscape plan titled, "Landscape Plan Sheet LP-1" prepared by Cunningham & Co. Engineers, dated 09-22-20, subject to approval by the County Arborist. Landscaping along the north property line is intended to screen the adjoining property from the proposed driveway and north parking area.
4. An outdoor lighting plan shall be submitted in conjunction with the application for a land disturbance permit and shall meet the standards of Sec. 5.6.1 of the DeKalb County Zoning Code.
5. The approval of this rezoning application by the Board of Commissioners has no bearing on other approvals by the Zoning Board of Appeals or other authority, whose decision should be based on the merits of the application before said authority.

Attachments:

1. Department and Division Comments
2. Board of Health Comments
3. Board of Education Comments
4. Application
5. Site Plan
6. Zoning Map
7. Aerial Photograph
8. Site Photographs

NEXT STEPS

Following an approval of this zoning action, one or several of the following may be required:

-  • **Land Disturbance Permit** *(Required for of new building construction on non-residential properties, or land disturbance/improvement such as storm water detention, paving, digging, or landscaping.)*
-  • **Building Permit** *(New construction or renovation of a building (interior or exterior) may require full plan submittal or other documentation. Zoning, site development, watershed and health department standards will be checked for compliance.)*
-  • **Certificate of Occupancy** *(Required prior to occupation of a commercial or residential space and for use of property for a business. Floor plans may be required for certain types of occupants.)*
- **Plat Approval** *(Required if any parcel is being subdivided, re-parceled, or combined. Issued “administratively”; no public hearing required.)*
- **Sketch Plat Approval** *(Required for the subdivision of property into three lots or more. Requires a public hearing by the Planning Commission.)*
- **Overlay Review** *(Required review of development and building plans for all new construction or exterior modification of building(s) located within a designated overlay district.)*
- **Historic Preservation** *(A Certificate of Appropriateness is required for any proposed changes to building exteriors or improvements to land when located within the Druid Hills or the Soapstone Geological Historic Districts. Historic Preservation Committee public hearing may be required.)*
-  • **Variance** *(Required to seek relief from any development standards of the Zoning Ordinance. A public hearing and action by the Board of Appeals are required for most variances.)*
- **Minor Modification** *(Required if there are any proposed minor changes to zoning conditions that were approved by the Board of Commissioners. The review is administrative if the changes are determined to be minor as described by Zoning Code.)*
- **Major Modification** *(Required submittal of a complete zoning application for a public hearing if there are any proposed major changes to zoning conditions that were approved by the Board of Commissioner for a prior rezoning.)*
- **Business License** *(Required for any business or non-residential enterprise operating in Unincorporated DeKalb County, including in-home occupations).*
- **Alcohol License** *(Required permit to sell alcohol for consumption on-site or packaged for off-site consumption. Signed and sealed distance survey is required. Background checks will be performed.)*

Each of the approvals and permits listed above requires submittal of application and supporting documents, and payment of fees. Please consult with the appropriate department/division.

Public Works Transportation Division Comments 10/19/2020

N8. Wesley Chapel Road is classified as a minor arterial. Please note infrastructure requirements in Chapter 5 of the Zoning Code (5.4.3, pages 5-14 & 5-15) and Chapter 14, Section 190 of the Land Development Code. Replace existing sidewalk along the frontages.



DEKALB COUNTY GOVERNMENT
PLANNING DEPARTMENT
DISTRIBUTION FORM

NOTE: PLEASE RETURN ALL COMMENTS VIA EMAIL OR FAX TO EXPEDITE THE PROCESS TO MICHELLE ALEXANDER mmalexander@dekalbcountyga.gov AND/OR LASONDRA HILL lahill@dekalbcountyga.gov

COMMENTS FORM:
PUBLIC WORKS TRAFFIC ENGINEERING

Case No.: SLUP-20-1244242 Parcel I.D. #: 15-159-09-007 } 071

Address: 2030-2010
Wesley Chapel Rd
Decatur, GA

Adjacent Roadway (s):

(classification) (classification)

| | |
|--|--|
| Capacity (TPD) _____ | Capacity (TPD) _____ |
| Latest Count (TPD) _____ | Latest Count (TPD) _____ |
| Hourly Capacity (VPH) _____ | Hourly Capacity (VPH) _____ |
| Peak Hour. Volume (VPH) _____ | Peak Hour. Volume (VPH) _____ |
| Existing number of traffic lanes _____ | Existing number of traffic lanes _____ |
| Existing right of way width _____ | Existing right of way width _____ |
| Proposed number of traffic lanes _____ | Proposed number of traffic lanes _____ |
| Proposed right of way width _____ | Proposed right of way width _____ |

Please provide additional information relating to the following statement.

According to studies conducted by the Institute of Traffic Engineers (ITE) 6/7TH Edition (whichever is applicable), churches generate an average of fifteen (15) vehicle trip end (VTE) per 1, 000 square feet of floor area, with an eight (8%) percent peak hour factor. Based on the above formula, the _____ square foot place of worship building would generate _____ vehicle trip ends, with approximately _____ peak hour vehicle trip ends.

Single Family residence, on the other hand, would generate ten (10) VTE's per day per dwelling unit, with a ten (10%) percent peak hour factor. Based on the above referenced formula, the _____ (Single Family Residential) District designation which allows a maximum of _____ units per acres, and the given fact that the project site is approximately _____ acres in land area, _____ daily vehicle trip end, and _____ peak hour vehicle trip end would be generated with residential development of the parcel.

COMMENTS:

Field and plans reviewed. Nothing found that would disrupt traffic.

Signature: [Handwritten Signature]



DEKALB COUNTY GOVERNMENT
PLANNING DEPARTMENT
DISTRIBUTION FORM

NOTE: PLEASE RETURN ALL COMMENTS VIA EMAIL OR FAX TO EXPEDITE THE PROCESS TO MICHELLE M ALEXANDER mmalexander@dekalbcountyga.gov OR JOHN REID jreid@DEKALBCOUNTYGA.GOV

COMMENTS FORM:
PUBLIC WORKS WATER AND SEWER

Case No.: SLUP-20-1244242

Parcel I.D. #: 15-159-09-007 & 15-159-09-071

Address: 2030 and 2020 Wesley Chapel Road
Decatur, Georgia

WATER:

Size of existing water main: 8" DI & 20" DI Water Main (~~adequate~~/inadequate) *ML*

Distance from property to nearest main: Adjacent to Property

Size of line required, if inadequate: N/A

SEWER:

Outfall Servicing Project: Snapfinger Creek Basin

Is sewer adjacent to property: Yes (X) No () If no, distance to nearest line: _____

Water Treatment Facility: Snapfinger WTF () adequate () inadequate

Sewage Capacity; * (MGPD)

Current Flow: 21.77 (MGPD)

COMMENTS:

* Please note that the sewer capacity has not been reviewed or approved for this project. A Sewer Capacity Request (SCR) must be completed and submitted for review. This can be a lengthy process and should be addressed early in the process.

*THIS AREA IS CAPACITY RESTRICTED.
SEWER ACTION PLAN WILL BE REQUIRED. ML*

Signature: *[Handwritten Signature]*



DEKALB COUNTY GOVERNMENT PLANNING DEPARTMENT DISTRIBUTION FORM

The following areas below may warrant comments from the Development Division. Please respond accordingly as the issues relate to the proposed request and the site plan enclosed as it relates to Chapter 14. You may address applicable disciplines.

DEVELOPMENT ANALYSIS:

- **Transportation/Access/Row**

Consult the Georgia DOT as well as the DeKalb County Transportation Department prior to land development permit. Verify widths from the centerline of the roadways to the property line for possible right-of-way dedication. Improvements within the right-of-way may be required as a condition for land development application review approval. Safe vehicular circulation is required. Paved off-street parking is required.

- **Storm Water Management**

Compliance with the Georgia Stormwater Management Manual, DeKalb County Code of Ordinances 14-40 for Stormwater Management and 14-42 for Storm Water Quality Control, to include Runoff Reduction Volume where applicable is required as a condition of land development permit approval. Use Volume Three of the G.S.M.M. for best maintenance practices. Use the NOAA Atlas 14 Point Precipitation Data set specific to the site. Recommend Low Impact Development features/ Green Infrastructure be included in the proposed site design to protect as much as practicable the statewaters and special flood hazard areas.

- **Flood Hazard Area/Wetlands**

The presence of FEMA Flood Hazard Area was not indicated in the County G.I.S. mapping records for the site; and should be noted in the plans at the time of any land development permit application. Encroachment of flood hazard areas require compliance with Article IV of Chapter 14 and FEMA floodplain regulations.

- **Landscaping/Tree Preservation**

Landscaping and tree preservation plans for any building, or parking lot must comply with DeKalb County Code of Ordinances 14-39 as well as Chapter 27 Article 5 and are subject to approval from the County Arborist

- **Tributary Buffer**

State water buffer was not reflected in the G.I.S. records for the site. Typical state waters buffer have a 75' undisturbed stream buffer and land development within the undisturbed creek buffer is prohibited without a variance per DeKalb County Code of Ordinances 14-44.1.

- **Fire Safety**

Plans for land development permit must comply with Chapter 12 DeKalb County Code for fire protection and prevention.

SPECIAL LAND USE PERMIT (SLUP)
APPLICATION PACKAGE

FOR

SHY TEMPLE CHRISTIAN METHODIST EPISCOPAL
2030 & 2020 WESLEY CHAPEL ROAD
DECATUR, DEKALB COUNTY, GEORGIA

INCLUDES
SLUP APPLICATION CHECKLIST
ITEM NUMBERS 1 – 11

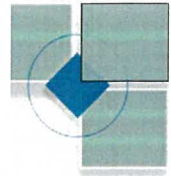
Thursday September 10, 2020

DeKalb County Department of Planning & Sustainability



Lee May
Interim Chief Executive Officer

Andrew Baker
Director



SPECIAL LAND USE PERMIT APPLICATION CHECKLIST

(SUBMIT 4 COMPLETE, COLLATED SETS OF APPLICATION DOCUMENTS)

- ✓ 1. Mandatory **Pre-Application Conference** with Planning & Sustainability staff. **Pre-Application form** to be completed in pre-application meeting. Please call (404) 371-2155 to schedule pre-app conference.
- TBA 2. Hold a **Community Meeting** with surrounding neighborhood associations and residents. Notify staff in advance of date, time, and location of meeting. **Provide documentation** (e.g., meeting notice, sign-in sheets, letter(s) from homeowners associations).
- ✓ 3. **Application Form**. Form must be completely filled out and be the first page of packet.
- NA 4. Notarized **Authorization Form**, if the applicant is not the owner of the subject property, which
 - ___ a. is signed and notarized by all owners of the subject property;
 - ___ b. contains the mailing address and phone number of any applicant or agent who is authorized to represent the owner(s) of the subject property; and
 - ___ c. includes a warranty deed, if ownership is less than 2 consecutive years.
- ✓ 5. **Written Legal Description** of subject property, in metes and bounds.
- ✓ 6. **Boundary Survey** (showing existing buildings, structures, and improvements), prepared and sealed within the past ten years by a professional engineer, or land surveyor registered in the State of Georgia and is consistent with the plat(s) on Official Tax Record. Applicant shall certify that the Boundary Survey is complete and currently accurate. **Site plans shall be drawn to scale** showing all proposed development or redevelopment projects, proposed buildings, structures, and improvements. Site plans must include the following:
 - ✓ a. Complete boundaries of subject property including curb cuts, internal vehicular circulation facilities, and sidewalks;
 - ✓ b. Location of buildings, structures, setback lines, buffer lines, and parking;
 - ✓ c. Location of any 100-year floodplains, streams, and stream buffer lines;
 - ✓ d. Notation of the total acreage or square footage of the subject property;
 - ✓ e. Landscaping, trees, open space, and undisturbed buffers;
 - ✓ f. Notation of building square footages and heights, residential density calculations, existing and proposed lot coverage, required and proposed parking, and open space calculations;
 - ✓ g. Four copies of site plans:
 1. Full-size site plans (at least 11" x 17"): 4 copies, folded.
 2. Site plan reduced to 8 ½" x 11". 4 copies
- ✓ 7. **Building Elevations**, renderings or details of materials proposed for compliance to Article 5.
- ✓ 8. **Letter of Application** identifying the proposed zoning classification, the reason for the rezoning request, the existing and proposed use of the property, and detailed characteristics of the proposed use (e.g., floor area, height of buildings, number of units, mix of unit types, hours of operation, etc. Include any statement of conditions agreed upon by the applicant.
- ✓ 9. Written documented, detailed analysis of the impact of the proposed zoning map amendment with respect to each of the standards and factors specified in Article 7.4.
- ✓ 10. Campaign disclosure statement, if applicable, to be filed in compliance with State law.
- ✓ 11. **Application fee - \$400.00**. Payable to DeKalb County.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

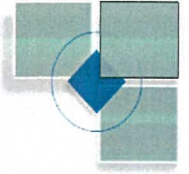
If subject property is made up of parcels located on opposite sides of a public street, a separate application is required for each parcel.



DeKalb County Department of Planning & Sustainability

Lee May
Interim Chief Executive Officer

Andrew A. Baker, AICP
Director



SPECIAL LAND USE PERMIT APPLICATION

Amendments will not be accepted after 5 working days after the filing date.

Date Received: Application No.:

APPLICANT NAME: Pastor James Clements

Daytime Phone #: 404-780-9529 Fax #:

Mailing Address: 2030 Wesley Chapel Rd Decatur, Ga. 30035

E-mail: revjclements@gmail.com

OWNER NAME: Shy Temple CME Church, Inc.

(If more than one owner, attach contact information for each owner)

Daytime Phone #: 404-780-9529 Fax #:

Mailing Address: 2030 Wesley Chapel Rd. Decatur, GA. 30035

E-mail: revjclements@gmail.com

SUBJECT PROPERTY ADDRESS OR LOCATION: 2030 and 2020 Wesley Chapel Rd

, DeKalb County, GA, 30035

District(s): 15th Land Lot(s): 159 Block(s): Parcel(s): 15-159-09-070

Acreage or Square Feet: 12.03 Commission District(s): 5 Existing Zoning: R-85

Proposed Special Land Use (SLUP):

I hereby authorize the staff of the Planning and Development Department to inspect the property that is the subject of this application.

Owner: Agent: Signature of Applicant:

Printed Name of Applicant:

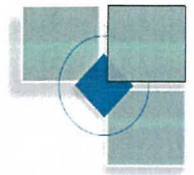
Notary Signature and Seal:



DeKalb County Department of Planning & Sustainability

Lee May
Interim Chief Executive Officer

Andrew A. Baker, AICP
Director



SPECIAL LAND USE PERMIT APPLICATION

Amendments will not be accepted after 5 working days after the filing date.

Date Received: _____ Application No.: _____

APPLICANT NAME: _____

Daytime Phone #: _____ Fax #: _____

Mailing Address: _____

_____ E-mail: _____

OWNER NAME: _____

(If more than one owner, attach contact information for each owner)

Daytime Phone #: _____ Fax #: _____

Mailing Address: _____

_____ E-mail: _____

SUBJECT PROPERTY ADDRESS OR LOCATION: _____

_____, DeKalb County, GA, _____

District(s): _____ Land Lot(s): _____ Block(s): _____ Parcel(s): _____

Acreage or Square Feet: _____ Commission District(s): _____ Existing Zoning: _____

Proposed Special Land Use (SLUP): _____

I hereby authorize the staff of the Planning and Development Department to inspect the property that is the subject of this application.

Owner: _____ Agent: _____
(Check One)

Signature of Applicant: _____

Printed Name of Applicant: _____

Notary Signature and Seal:

1. PRE-APPLICATION CONFERENCE

**(Pre-Application Meeting Not Required Since Re-Submittal of
Previously Approved SLUP)**

Original Pre-Application Documents
Dated 7-19-2019
Are Included
For Reference



Original Meeting Doc
7-19-19

3. K

404.371.2155 (o)
404.371.4556 (f)
DeKalbCountyGa.gov

Clark Harrison Building
330 W. Ponce de Leon Ave
Decatur, GA 30030

Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Director
Andrew A. Baker, AICP

PRE-APPLICATION FORM
REZONE, SPECIAL LAND USE PERMIT, MODIFICATION, AND LAND USE

(Required prior to filing application: signed copy of this form must be submitted at filing)

Applicant Name: Shy Temple Church Clare Cunningham
Methodist
Ger Episcopal Phone: 478-742-3616 Email: clare@cunningham
hyphen
pc.
com
Property Address: 2030 Wesley Chapel Rd
Tax Parcel ID: 15-159-09-007 Comm. District(s): _____ Acreage: _____
Existing Use: church Proposed Use: 10,010 church & Fellowship
3288
hall
Supplemental Regs: _____ Overlay District: NA DRI: NA

Rezoning: Yes _____ No

Existing Zoning: _____ Proposed Zoning: _____ Square Footage/Number of Units: _____

Rezoning Request: _____

Land Use Plan Amendment: Yes _____ No

Existing Land Use: _____ Proposed Land Use: _____ Consistent _____ Inconsistent _____

Special Land Use Permit: Yes No _____ Article Number(s) 27- _____

Special Land Use Request(s) expanding, new sanctuary

Major Modification:

Existing Case Number(s): _____

Condition(s) to be modified:

DEPARTMENT OF PLANNING & SUSTAINABILITY

WHAT TO KNOW BEFORE YOU FILE YOUR APPLICATION

Pre-submittal Community Meeting: Review Calendar Dates: PC: _____ BOC: _____
 Letter of Intent: Impact Analysis: Owner Authorization(s): Campaign Disclosure:
 Zoning Conditions: _____ Community Council Meeting: Public Notice, Signs:
 Tree Survey, Conservation: Land Disturbance Permit (LDP): Sketch Plat: _____
 Bldg. Permits: Fire Inspection: _____ Business License: _____ State License: _____
 Lighting Plan: _____ Tent Permit: _____ Submittal Format: NO STAPLES, NO BINDERS PLEASE

Review of Site Plan

Density: _____ Density Bonuses: _____ Mix of Uses: _____ Open Space: _____ Enhanced
 Open Space: _____ Setbacks: front _____ sides _____ side corner _____ rear _____ Lot Size:
 _____ Frontage: _____ Street Widths: _____ Landscape Strips: _____ Buffers: _____
 Parking Lot Landscaping: _____ Parking - Auto: _____ Parking - Bicycle: _____ Screening:
 _____ Streetscapes: _____ Sidewalks: _____ Fencing/Walls: _____ Bldg. Height: _____ Bldg.
 Orientation: _____ Bldg. Separation: _____ Bldg. Materials: _____ Roofs: _____ Fenestration: _____
 Façade Design: _____ Garages: _____ Pedestrian Plan: _____ Perimeter Landscape Strip: _____
 Possible Variances: _____

Comments:

Planner: MBS

Date 7/19/19

Filing Fees

| | | |
|--------------------------------|---|----------|
| REZONING: | RE, RLG, R-100, R-85, R-75, R-60, MHP, RSM, MR-1 | \$500.00 |
| | RNC, MR-2, HR-1, HR-2, HR-3, MU-1, MU-2, MU-3, MU-4, MU-5 | \$750.00 |
| | OI, OD, OIT, NS, C1, C2, M, M2 | \$750.00 |
| LAND USE MAP AMENDMENT | | \$500.00 |
| SPECIAL LAND USE PERMIT | | \$400.00 |

2. PRE-SUBMITTAL COMMUNITY MEETING NOTICE AND SIGN-IN SHEET

STATEMENT OF CONDITIONS PROPOSED TO BE DISCUSSED WITH NEIGHBORS:

Pre-Submittal Community Meeting with surrounding neighbors, with hand delivered invitations to all residents located within 500-feet in accordance with **“blue shaded map area”** designating limits of 500-feet coverage **To Be Provided By DeKalb Planning**, is planned to be held via Zoom after the 15-day notification delivery. Ms. Mereda Davis Johnson with District 5 Commission will be provided information regarding the notification and scheduled Zoom Meeting Time and Date.

Proposed Church Expansion Project will be discussed regarding the New Proposed Church Building and associated parking for new 9,844 SF Church Building.

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING SITUATED IN LAND LOT 159 OF THE 15TH LAND DISTRICT OF DEKALB COUNTY, GEORGIA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN IRON PIN LOCATED ON THE EASTERLY RIGHT OF WAY OF WESLEY CHAPEL ROAD (100'R/W) AND HAVING THE NAD83 GA WEST ZONE COORDINATES OF N1357206.83, E2282265.06;

THENCE, S89°19'18"E, A DISTANCE OF 280.31' TO A 1" PIPE;

THENCE, S89°16'05"E, A DISTANCE OF 502.65' TO A 1/2" REBAR;

THENCE, S0°55'18"W, A DISTANCE OF 41.36' TO A 5/8" REBAR;

THENCE, S89°48'59"E, A DISTANCE OF 701.13' TO A 1/2" REBAR;

THENCE, S0°52'24"W, A DISTANCE OF 327.47' TO A 1/2" REBAR;

THENCE, N89°46'43"W, A DISTANCE OF 108.75' TO A 3/4" PIPE;

THENCE, N89°38'39"W, A DISTANCE OF 585.35' TO A 1/2" REBAR;

THENCE, N89°49'34"W, A DISTANCE OF 174.83' TO A 1/2" REBAR;

THENCE, S1°46'01"W, A DISTANCE OF 149.82', TO A 1/2" REBAR ON THE NORTHERLY RIGHT OF WAY LINE OF JOHN WESLEY DRIVE (60'R/W);

THENCE, ALONG SAID RIGHT OF WAY, N89°26'23"W, A DISTANCE OF 24.92' TO A 1/2" REBAR;

THENCE, LEAVING SAID RIGHT OF WAY, N1°44'19"E, A DISTANCE OF 149.67' TO A 1/2" REBAR;

THENCE, N89°39'51"W, A DISTANCE OF 599.09' TO A 1/2" REBAR ON THE EASTERLY RIGHT OF WAY OF WESLEY CHAPEL ROAD;

THENCE, ALONG SAID RIGHT OF WAY, N2°14'54"E, A DISTANCE OF 372.86' TO THE POINT OF BEGINNING.

SAID TRACT OR PARCEL OF LAND CONTAINS 12.03 ACRES, MORE OR LESS.

THIS BLOCK RESERVED FOR THE CLERK OF THE SUPERIOR COURT



WESLEY CHAPEL ROAD

107' REBAR

1/2" REBAR

1/2" REBAR

1/2" REBAR

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1/2" REBAR

AREA=12.03 ACRES

PARCEL 15 159 09 071

SHY TEMPLE CHRISTIAN METHODIST

ZONING R-45

DB 28377, PG 548

1/2" REBAR

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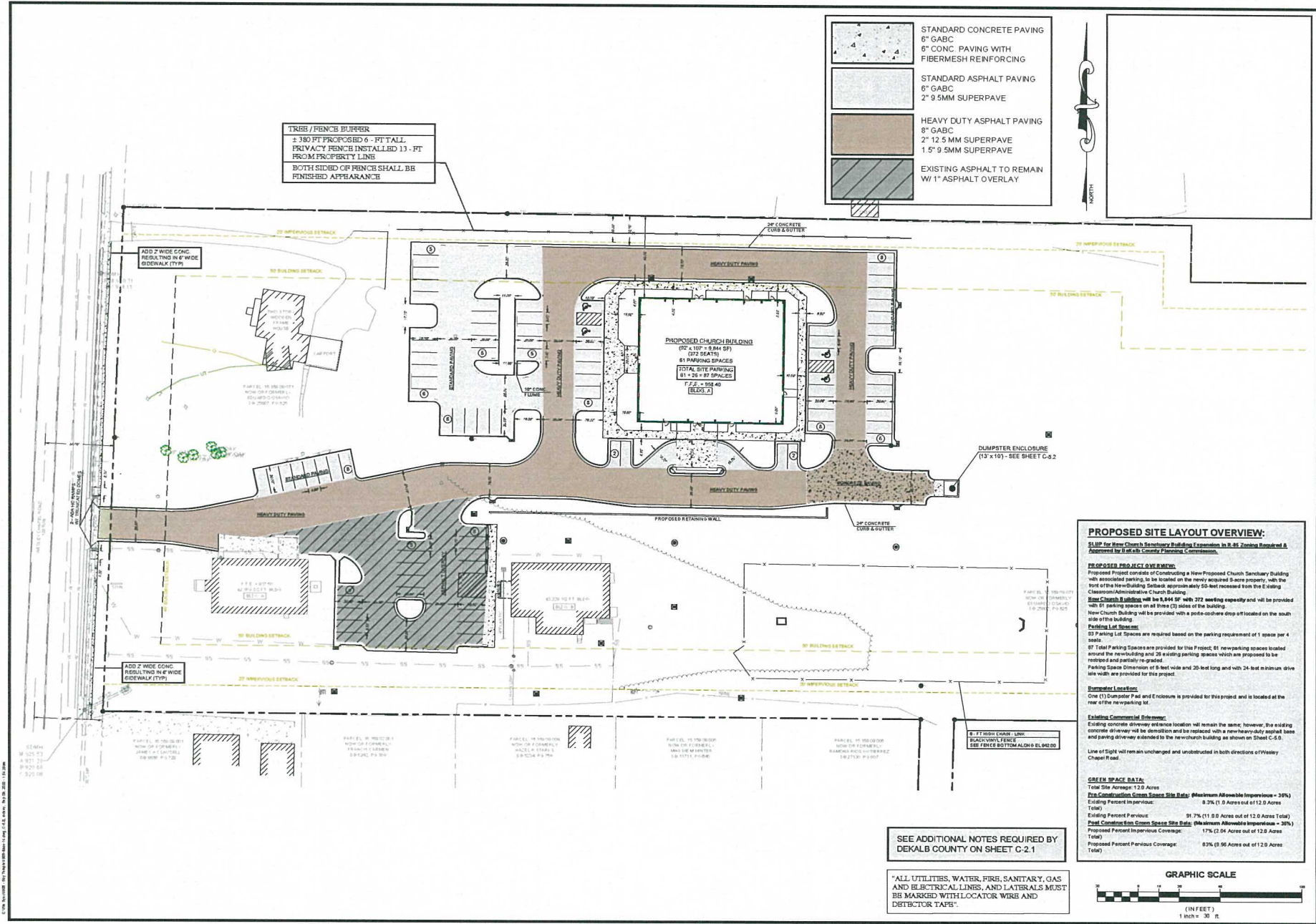
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| | STANDARD CONCRETE PAVING 6" GABC |
| | STANDARD ASPHALT PAVING 6" GABC 2" 9.5MM SUPERPAVE |
| | HEAVY DUTY ASPHALT PAVING 8" GABC 2" 12.5 MM SUPERPAVE 1.5" 9.5MM SUPERPAVE |
| | EXISTING ASPHALT TO REMAIN W/ 1" ASPHALT OVERLAY |

TREE / FENCE BUFFER
± 380 FT PROPOSED 6 - FT TALL
PRIVACY FENCE INSTALLED 13 - FT
FROM PROPERTY LINE
BOTH SIDED OF FENCE SHALL BE
FINISHED APPEARANCE

ADD 2' WIDE CONC
RESULTING IN 6' WIDE
SIDEWALK (TYP)

ADD 2' WIDE CONC
RESULTING IN 6' WIDE
SIDEWALK (TYP)



PROPOSED SITE LAYOUT OVERVIEW:

SIUP for New Church Sanctuary Building Expansion in R-85 Zoning District & Approved by all City Council Planning Commission.

PROPOSED PROJECT OVERVIEW:
Proposed Project consists of Constructing a New Proposed Church Sanctuary Building with associated parking, to be located on the newly acquired 8-acre property, with the front of the New-Building setback approx 50-feet recessed from the Existing Classroom/Administrative Church Building.
New Church Building will be 8,644 SF with 372 seating capacity and will be provided with 61 parking spaces on all three (3) sides of the building.
New Church Building will be provided with a grade-change drop off located on the south side of the building.
Parking Lot Spaces:
61 Parking Lot Spaces are required based on the parking requirement of 1 space per 4 seats.
67 Total Parking Spaces are provided for this Project; 61 newparking spaces located around the newbuilding and 26 existing parking spaces which are proposed to be recycled and partially re-paved.
Parking Space Dimension of 8-feet wide and 30-feet long and with 24-feet minimum drive lane width are provided for this project.

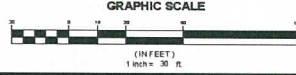
Dumpster Location:
One (1) Dumpster Pad and Enclosure is provided for this project and is located at the rear of the newparking lot.
Existing Commercial Driveaway:
Existing concrete driveaway entrance location will remain the same; however, the existing concrete driveaway will be demolished and be replaced with a newheavy-duty asphalt base and paving driveaway extended to the newchurch building as shown on Sheet C-5.0.
Line of Sight will remain unchanged and unobstructed in both directions of Wesley Chapel Road.

GENERAL SPACE DATA:

| | |
|--|--|
| Total Site Area: | 12.8 Acres |
| Pre-Construction Open Space Site Rate: | (Maximum Allowable Impervious = 38%) |
| Existing Percent Impervious: | 8.3% (1.0 Acres out of 12.0 Acres Total) |
| Existing Percent Permeable: | 91.7% (11.0 Acres out of 12.0 Acres Total) |
| Proposed Percent Impervious Coverage: | 17% (2.04 Acres out of 12.0 Acres Total) |
| Proposed Percent Permeable Coverage: | 83% (9.96 Acres out of 12.0 Acres Total) |

SEE ADDITIONAL NOTES REQUIRED BY
DEKALB COUNTY ON SHEET C-2.1

*ALL UTILITIES, WATER, FIRE, SANITARY, GAS
AND ELECTRICAL LINES, AND LATERALS MUST
BE MARKED WITH LOCATOR WIRE AND
DETECTOR TAPS*



PROPOSED CHURCH BUILDING
2030 WESLEY CHAPEL ROAD
DEKALB COUNTY, GEORGIA

Cunningham & Co. Engineers
CIVIL ENGINEERING • CONSULTING • PROJECT MANAGEMENT
OFFICE 478.742.3616
MACON, GEORGIA 31201
FOR FAX 478.742.3569



REVISIONS

| | | |
|-----|------|-------------|
| NO. | DATE | DESCRIPTION |
| | | |

DATE: 6-24-20
PROJ. NO: 1809
DRAWN BY: RCC



SITE PLAN
C-5.0

AP#1243785

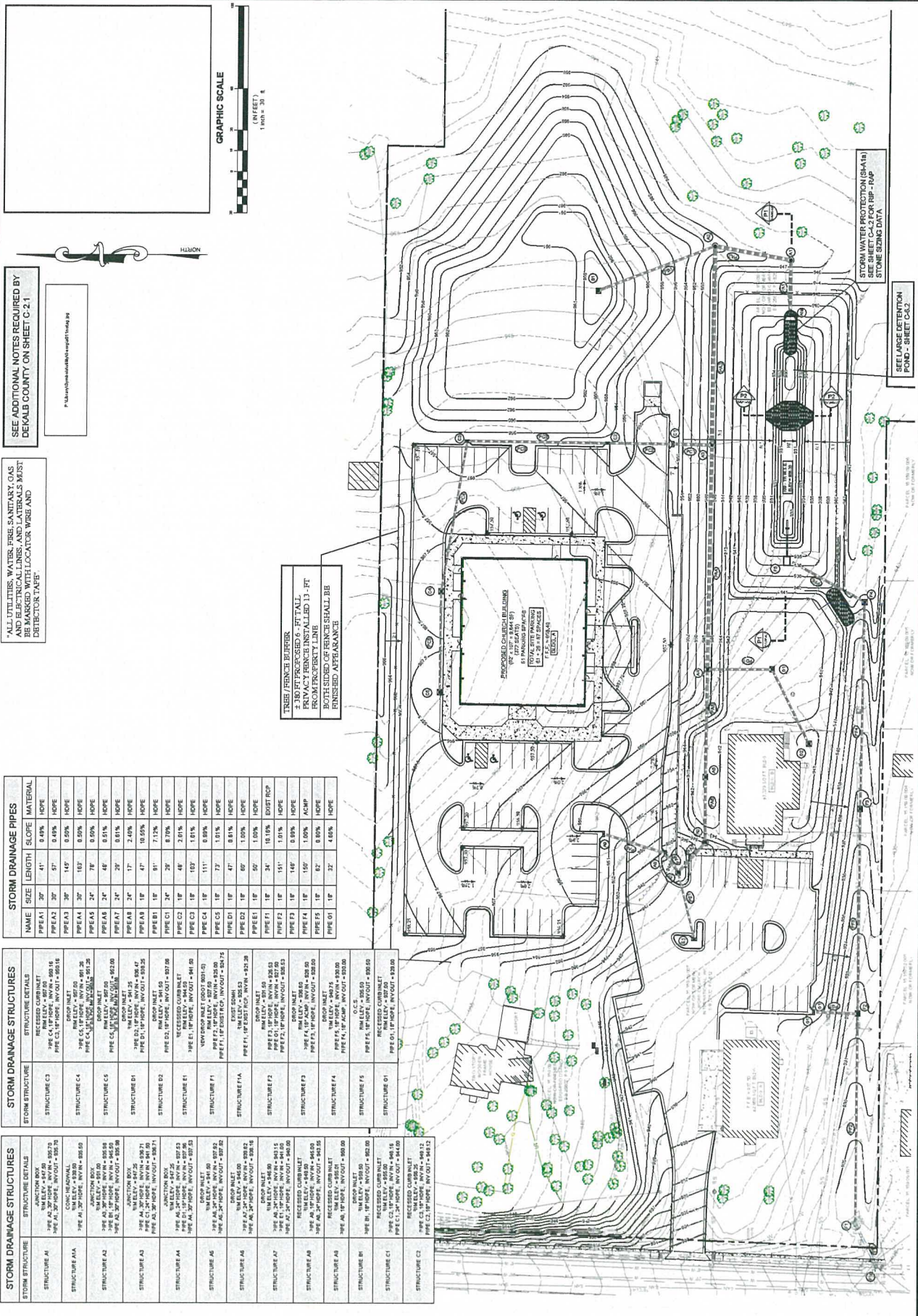


DATE: 8-18-20
 PROJECT NO: 1800
 DRAWN BY: RCC
 CHECKED BY: [Signature]

Cunningham & Co. Engineers
 CIVIL ENGINEERING - CONSULTING - PROJECT MANAGEMENT
 432 SECOND STREET, SUITE 201
 MACON, GEORGIA 31201
 OFFICE 478.742.2616
 FAX 478.742.5609

PROPOSED CHURCH BUILDING
 2033 WESELY CHAPEL ROAD
 DEKALB COUNTY, GEORGIA
 FOR
 SHY TEMPLE CME CHURCH

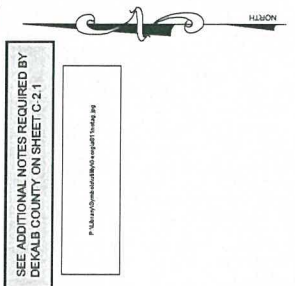
REVISIONS



| STORM DRAINAGE PIPES | | | |
|----------------------|------|--------|------------------|
| NAME | SIZE | LENGTH | SLOPE MATERIAL |
| PIPE A1 | 30" | 41' | 0.40% HOPE |
| PIPE A2 | 30" | 57' | 0.40% HOPE |
| PIPE A3 | 30" | 149' | 0.50% HOPE |
| PIPE A4 | 30" | 103' | 0.50% HOPE |
| PIPE A5 | 24" | 78' | 0.50% HOPE |
| PIPE A6 | 24" | 48' | 0.51% HOPE |
| PIPE A7 | 24" | 29' | 0.61% HOPE |
| PIPE A8 | 24" | 17' | 2.40% HOPE |
| PIPE A9 | 18" | 47' | 15.50% HOPE |
| PIPE B1 | 18" | 91' | 7.13% HOPE |
| PIPE C1 | 24" | 28' | 8.70% HOPE |
| PIPE C2 | 18" | 48' | 2.01% HOPE |
| PIPE C3 | 18" | 102' | 1.61% HOPE |
| PIPE C4 | 18" | 111' | 0.60% HOPE |
| PIPE C5 | 18" | 72' | 1.01% HOPE |
| PIPE C6 | 18" | 47' | 0.81% HOPE |
| PIPE C7 | 18" | 50' | 1.00% HOPE |
| PIPE F1 | 18" | 34' | 10.10% EXIST ROP |
| PIPE F2 | 18" | 151' | 1.01% HOPE |
| PIPE F3 | 18" | 146' | 0.99% HOPE |
| PIPE F4 | 18" | 150' | 1.00% ACOMP |
| PIPE F5 | 18" | 82' | 0.80% HOPE |
| PIPE G1 | 18" | 32' | 4.60% HOPE |

| STORM DRAINAGE STRUCTURES | |
|---------------------------|--|
| STORM STRUCTURE | STRUCTURE DETAILS |
| STRUCTURE C3 | RECESSED CURB INLET PIPE C4 (18" HOPE, INV IN = 865.16) PIPE C3 (18" HOPE, INV OUT = 865.16) |
| STRUCTURE C4 | RECESSED CURB INLET PIPE C5 (18" HOPE, INV IN = 865.20) PIPE C4 (18" HOPE, INV OUT = 865.20) |
| STRUCTURE C5 | RECESSED CURB INLET PIPE C6 (18" HOPE, INV IN = 865.20) PIPE C5 (18" HOPE, INV OUT = 865.20) |
| STRUCTURE D1 | RECESSED CURB INLET PIPE D1 (18" HOPE, INV IN = 865.47) PIPE D1 (18" HOPE, INV OUT = 865.25) |
| STRUCTURE D2 | RECESSED CURB INLET PIPE D2 (18" HOPE, INV IN = 865.28) PIPE D2 (18" HOPE, INV OUT = 865.28) |
| STRUCTURE E1 | RECESSED CURB INLET PIPE E1 (18" HOPE, INV IN = 865.28) PIPE E1 (18" HOPE, INV OUT = 865.28) |
| STRUCTURE F1 | RECESSED CURB INLET PIPE F2 (18" HOPE, INV IN = 825.00) PIPE F1 (18" HOPE, INV OUT = 825.00) |
| STRUCTURE F1A | RECESSED CURB INLET PIPE F1A (18" HOPE, INV IN = 825.28) PIPE F1A (18" HOPE, INV OUT = 825.28) |
| STRUCTURE F2 | RECESSED CURB INLET PIPE F2 (18" HOPE, INV IN = 825.53) PIPE F2 (18" HOPE, INV OUT = 825.53) |
| STRUCTURE F3 | RECESSED CURB INLET PIPE F3 (18" HOPE, INV IN = 825.50) PIPE F3 (18" HOPE, INV OUT = 825.50) |
| STRUCTURE F4 | RECESSED CURB INLET PIPE F4 (18" HOPE, INV IN = 827.75) PIPE F4 (18" HOPE, INV OUT = 825.50) |
| STRUCTURE F5 | RECESSED CURB INLET PIPE F5 (18" HOPE, INV IN = 825.50) PIPE F5 (18" HOPE, INV OUT = 825.50) |
| STRUCTURE G1 | RECESSED CURB INLET PIPE G1 (18" HOPE, INV IN = 825.00) PIPE G1 (18" HOPE, INV OUT = 825.00) |
| STRUCTURE C2 | RECESSED CURB INLET PIPE C2 (18" HOPE, INV IN = 861.12) PIPE C2 (18" HOPE, INV OUT = 861.12) |

| STORM DRAINAGE STRUCTURES | |
|---------------------------|--|
| STORM STRUCTURE | STRUCTURE DETAILS |
| STRUCTURE A1 | RECESSED CURB INLET PIPE A1 (30" HOPE, INV IN = 857.75) PIPE A1 (30" HOPE, INV OUT = 857.75) |
| STRUCTURE A1A | RECESSED CURB INLET PIPE A1A (30" HOPE, INV IN = 858.50) PIPE A1A (30" HOPE, INV OUT = 858.50) |
| STRUCTURE A2 | RECESSED CURB INLET PIPE A2 (30" HOPE, INV IN = 857.25) PIPE A2 (30" HOPE, INV OUT = 857.25) |
| STRUCTURE A3 | RECESSED CURB INLET PIPE A3 (30" HOPE, INV IN = 857.75) PIPE A3 (30" HOPE, INV OUT = 857.75) |
| STRUCTURE A4 | RECESSED CURB INLET PIPE A4 (30" HOPE, INV IN = 857.25) PIPE A4 (30" HOPE, INV OUT = 857.25) |
| STRUCTURE A5 | RECESSED CURB INLET PIPE A5 (30" HOPE, INV IN = 857.75) PIPE A5 (30" HOPE, INV OUT = 857.75) |
| STRUCTURE A6 | RECESSED CURB INLET PIPE A6 (30" HOPE, INV IN = 857.25) PIPE A6 (30" HOPE, INV OUT = 857.25) |
| STRUCTURE A7 | RECESSED CURB INLET PIPE A7 (30" HOPE, INV IN = 857.25) PIPE A7 (30" HOPE, INV OUT = 857.25) |
| STRUCTURE A8 | RECESSED CURB INLET PIPE A8 (30" HOPE, INV IN = 857.25) PIPE A8 (30" HOPE, INV OUT = 857.25) |
| STRUCTURE A9 | RECESSED CURB INLET PIPE A9 (30" HOPE, INV IN = 857.25) PIPE A9 (30" HOPE, INV OUT = 857.25) |
| STRUCTURE B1 | RECESSED CURB INLET PIPE B1 (30" HOPE, INV IN = 857.25) PIPE B1 (30" HOPE, INV OUT = 857.25) |
| STRUCTURE C1 | RECESSED CURB INLET PIPE C1 (30" HOPE, INV IN = 844.00) PIPE C1 (30" HOPE, INV OUT = 844.00) |
| STRUCTURE C2 | RECESSED CURB INLET PIPE C2 (30" HOPE, INV IN = 841.12) PIPE C2 (30" HOPE, INV OUT = 841.12) |



ALL UTILITIES, WATER, FIRE, SANITARY, GAS AND ELECTRICAL LINES, AND LATERALS MUST BE MARKED WITH LOCATOR WIRE AND DETECTOR TAPE

SEE ADDITIONAL NOTES REQUIRED BY DEKALB COUNTY ON SHEET C-2.1

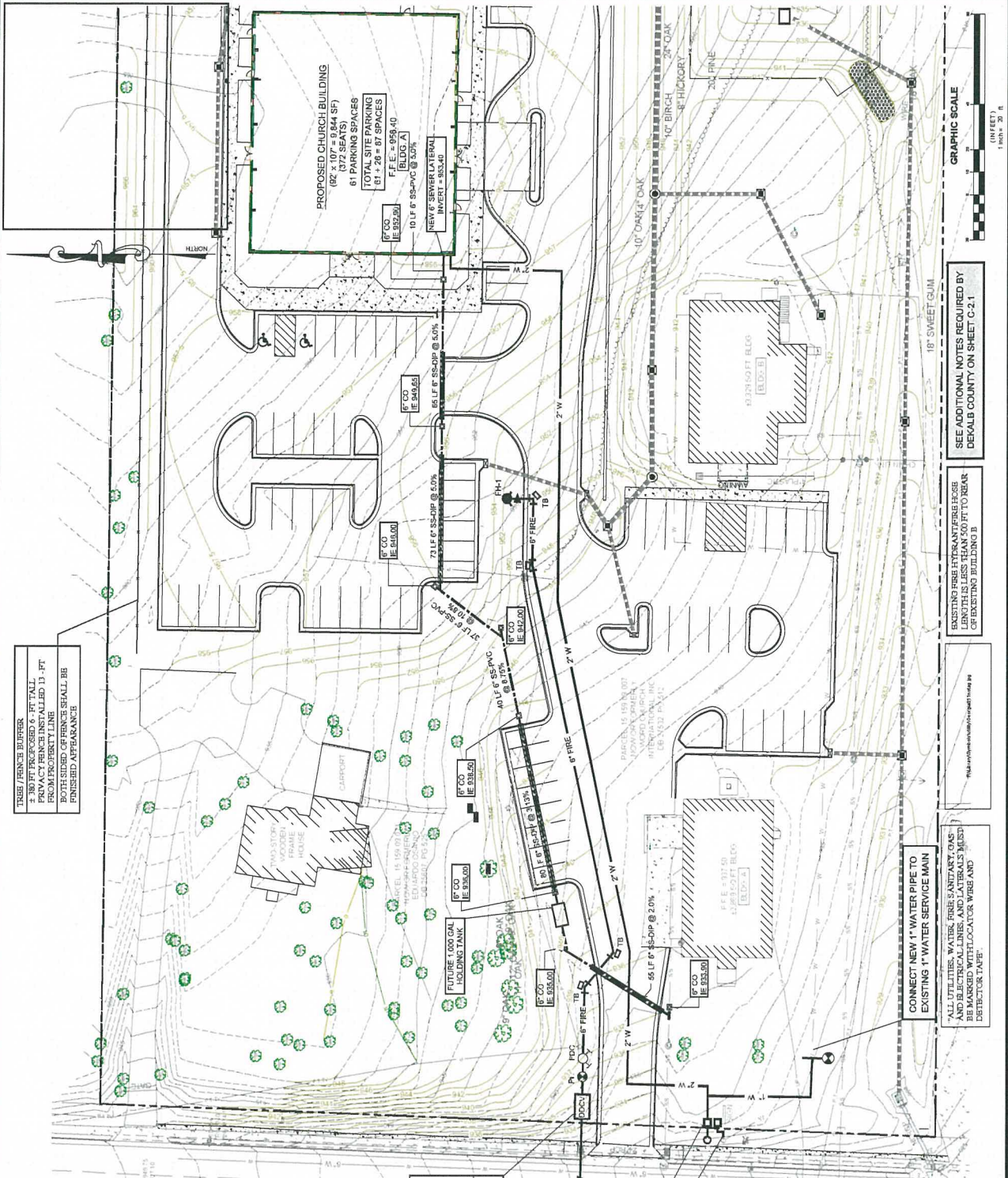
FOR INFORMATION ONLY: THIS PLAN IS NOT TO BE USED FOR CONSTRUCTION OF THE PROJECT WITHOUT THE APPROVAL OF THE LOCAL AUTHORITY.



REVISIONS
1 - 11/19 - REVISIONS PER RECOMMENDATIONS

Cunningham & Co. Engineers
CIVIL ENGINEERING - CONSULTING - PROJECT MANAGEMENT
405 SECOND STREET, SUITE 201
MACON, GEORGIA 31201
OFFICE: 478.742.2816
FAX: 478.742.9569

PROPOSED CHURCH BUILDING
2030 WESLEY CHAPEL ROAD
DEKALB COUNTY, GEORGIA
FOR
SHY TEMPLE CME CHURCH



SEE ADDITIONAL NOTES REQUIRED BY DEKALB COUNTY ON SHEET C-2.1

EXISTING FIRE HYDRANT/FIRE HOSE LENGTH IS LESS THAN 50 FT TO NEAR EXISTING BUILDING B

ALL UTILITIES, WATER, FIRE, SANITARY, GAS, AND SEWER LINES SHALL BE MARKED WITH LOCATOR WIRE AND DETECTOR TAP.

CONNECT NEW 1" WATER PIPE TO EXISTING 1" WATER SERVICE MAIN

TRUSS / FRAME BUFFER
± 30 FT FENCED 6-FT TALL PRIVACY FENCE INSTALLED 13' FT FROM PROPERTY LINE
BOTH SIDES OF FENCE SHALL BE FENCED APPEARANCE

- 1 - NEW 6" DOUBLE DETECTOR CHECK VALVE (DDCV) PROVIDE DDCV INSULATED HOUSING CONFORM TO DEKALB COUNTY SPECIFICATIONS
- 1 - NEW 6" POST INDICATOR VALVE (P.I.V.)
- 1 - NEW FIRE DEPARTMENT CONNECTION (FDC) COORDINATE WITH DEKALB COUNTY WATER FOR NEW 6" FIRE MAIN TAP TO EXISTING 6" WATER MAIN.

NEW 6" DOUBLE DETECTOR CHECK VALVE (DDCV) PROVIDE DDCV INSULATED HOUSING CONFORM TO DEKALB COUNTY SPECIFICATIONS

WATER METER SHALL BE INSTALLED INSIDE OF RIGHT OF WAY & NOT ON CHURCH PROPERTY

BACKFLOW PREVENTER TO BE INSTALLED ON CHURCH PROPERTY NOT INSIDE OF RW

CONVERT EXISTING 1" WATER METER TO BE USED AS 1" FIRE DEPARTMENT CONNECTION (FDC) BACKFLOW PREVENTER TO BE INSTALLED ON CHURCH PROPERTY NOT INSIDE OF RW

SITE UTILITY OVERVIEW:

1. All utilities shown on this plan are for informational purposes only. The utility owner should be contacted for a final utility map and for any other information.

2. The utility owner should be contacted for any other information.

3. The utility owner should be contacted for any other information.

4. The utility owner should be contacted for any other information.

5. The utility owner should be contacted for any other information.

6. The utility owner should be contacted for any other information.

7. The utility owner should be contacted for any other information.

8. The utility owner should be contacted for any other information.

9. The utility owner should be contacted for any other information.

10. The utility owner should be contacted for any other information.

DEKALB COUNTY WATER MAINS SPECIFICATIONS:

- Water Meters shall be installed in accordance with the specifications of the manufacturer and approved by the County.
- Water Meters shall be installed in accordance with the specifications of the manufacturer and approved by the County.
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SHEET INDEX

Architectural

| | |
|------|----------------------------------|
| A0. | Coversheet |
| A0.2 | Life Safety Plan |
| A1.1 | Floor Plan |
| A1.2 | Entranced Mezz and Levels |
| A2. | Reflected Ceiling Plan/Soof Plan |
| A3. | Site/grading |
| A4. | Exterior Elevations |
| A4.2 | Building Sections |
| A5. | Wall Sections |

APPLICABLE CODES:

International Building Code, 2018 edition (WITH GEORGIA AMENDMENTS)
 International Fuel Gas Code, 2018 edition (WITH GEORGIA AMENDMENTS)
 International Mechanical Code, 2018 edition (WITH GEORGIA AMENDMENTS)
 National Electric Code, NFPA 70, 2017 edition (WITH GEORGIA AMENDMENTS)
 International Energy Conservation Code, 2015 edition (WITH GEORGIA AMENDMENTS)
 International Fire Code, 2018 edition (WITH GEORGIA AMENDMENTS)
 2010 ADA Standards for Accessible Design
 NFPA 101 Life Safety Code, 2012 edition

ALL SPECIFICATIONS ARE ON DRAWINGS

TOTAL BUILDING FLOOR AREA:

10,010 GSF

SANCTUARY SEATING

300 FIXED SEATS

SCOPE OF WORK:

New 10,010 SF sanctuary building with support spaces, classrooms, and offices.
 This project is a pre-engineered steel structure with slab on grade, including associated mechanical, plumbing, and electrical systems.

No food preparation, distribution, or kitchen in the building.

PROJECT TITLE:

SHY TEMPLE CME CHURCH
 NEW WORSHIP FACILITY
 2030 WESLEY CHAPEL RD. DEKALB COUNTY, GA

January 3, 2020

PROJECT TEAM:

Owner:
 SHY TEMPLE CME CHURCH
 2012 MEMORIAL DRIVE
 ATLANTA, GA 30317

Contractor:
 PAR CHURCH BUILDERS
 6350 LAKE OCONEE PKWY
 GREENSBORO, GA 30642
 STE 102 P.O BOX 173
 Phone: (706)999-2260

Architect:
 CREATIVE WORSHIP SPACE
 6350 LAKE OCONEE PKWY
 GREENSBORO, GA 30642
 STE 102 P.O BOX 173
 Phone: (706)999-2260

Owner

**Shy Temple
 Christian
 Methodist
 Episcopal**

2030 Wesley Chapel Rd.
 DeKalb County, GA
 Pastor: James Clements

Project Title
New Worship Facility

Project Team

Builder:


Sheet Information
 Project No.: 19-101

Sht. Descript.: FLOOR PLAN
 Record Date: Jan. 3, 2020
 Revisions

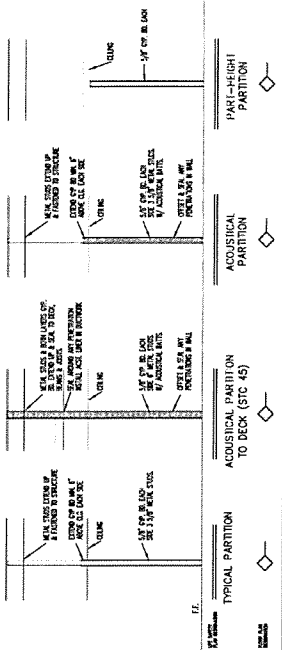
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 2 PERMIT 09-09-2020 COMMENTS

Seal

Sheet No. **A0.1**

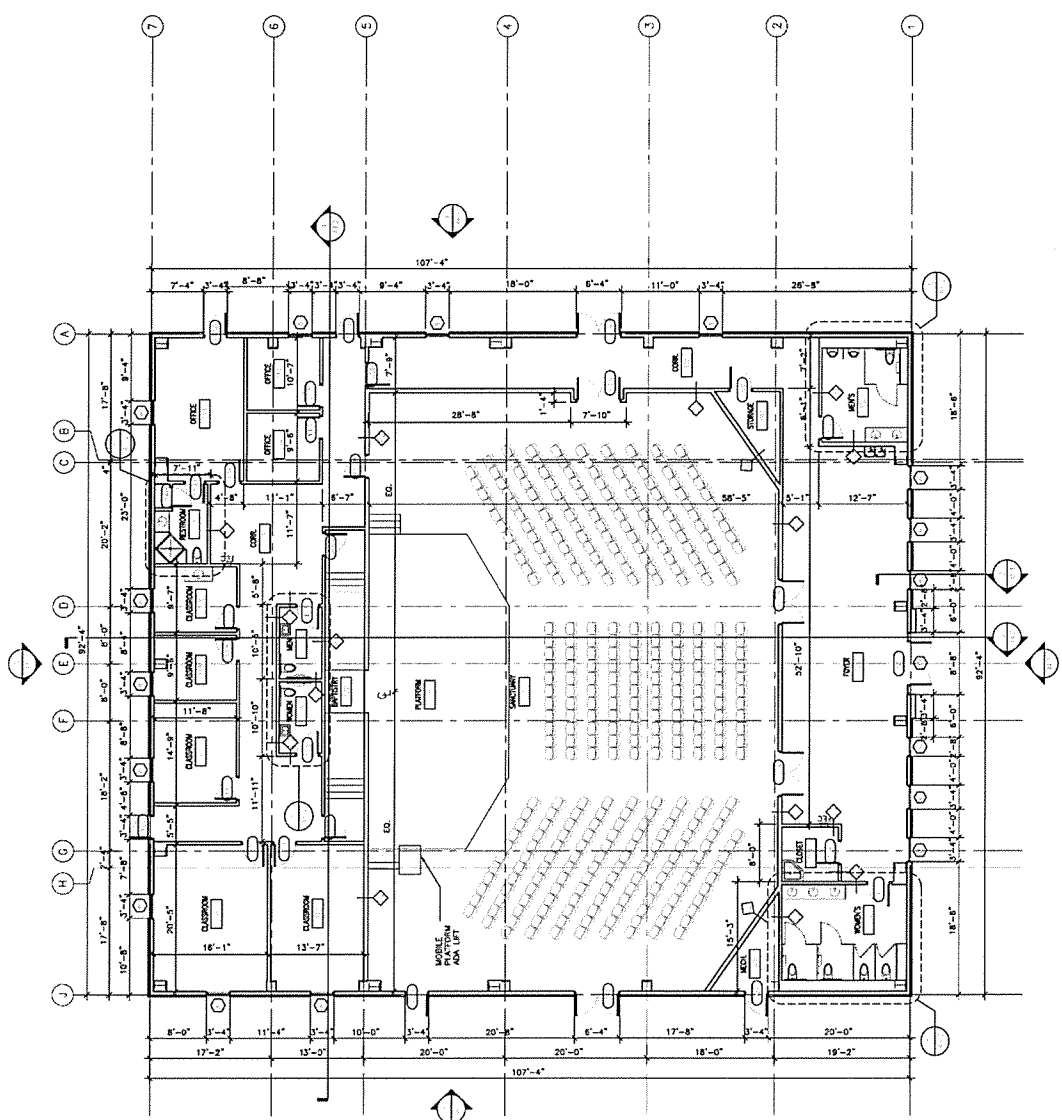
PARTITION TYPES - METAL STUD AND GYPSUM BOARD

NO SCALE



GENERAL NOTES:

1. PARTITION TYPES SHOWN ARE SUBJECT TO CHANGE WITHOUT NOTICE. ALL PARTITIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2018 INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE CODES.
2. THE WORK OF THE TRADES SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2018 INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE CODES.
3. PARTITIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2018 INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE CODES.
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8. PARTITIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2018 INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE CODES.



1 FLOOR PLAN
SCALE: 1/8"=1'-0"



PREPARED BY: [Logo]

**Shy Temple
Christian
Methodist
Episcopal**
2332 Wesley Church Rd.
Del Norte County, CA
Foster, James Curran
Project Est.
New Worship Facility
Revised:

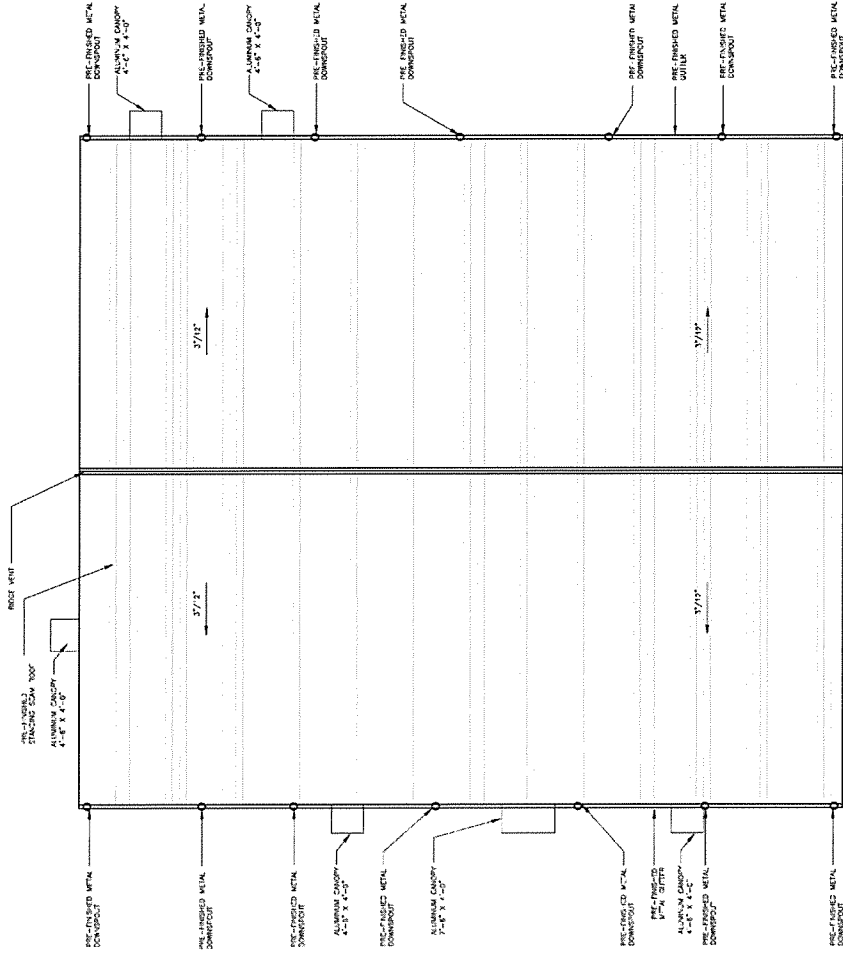


Sheet Information
Project No.: 19-101
Sht. Designation: FLOOR PLAN
Record Date: Jan. 3, 2020
Revisions



Sheet No. 1

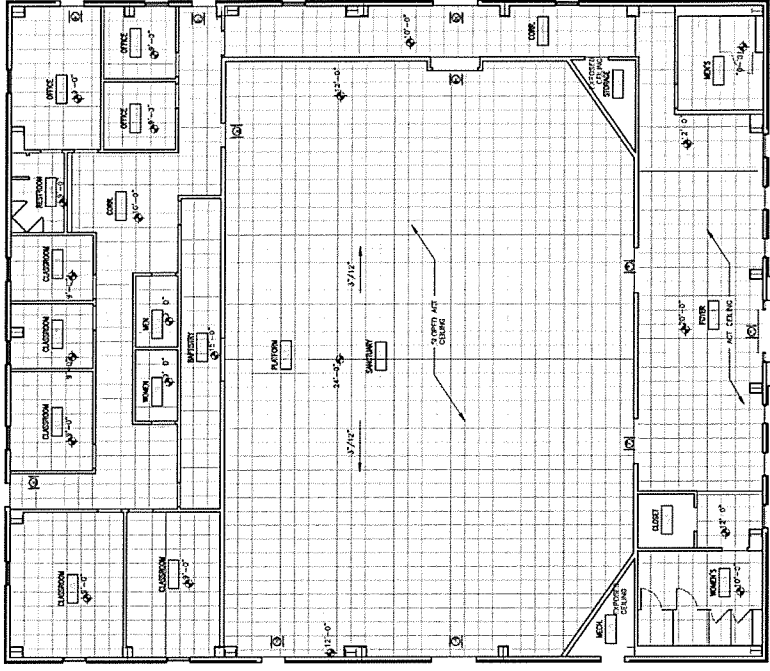
A1.1



2. ROOF PLAN
SCALE: 1/8" = 1'-0"



1. REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



1. REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



**Shy Temple
Christian
Methodist
Episcopal**

2332 Wesley Chapel Rd.
Deer Creek, CA
Pastor James Corvetti

Project Title
New Worship Facility
Project Team



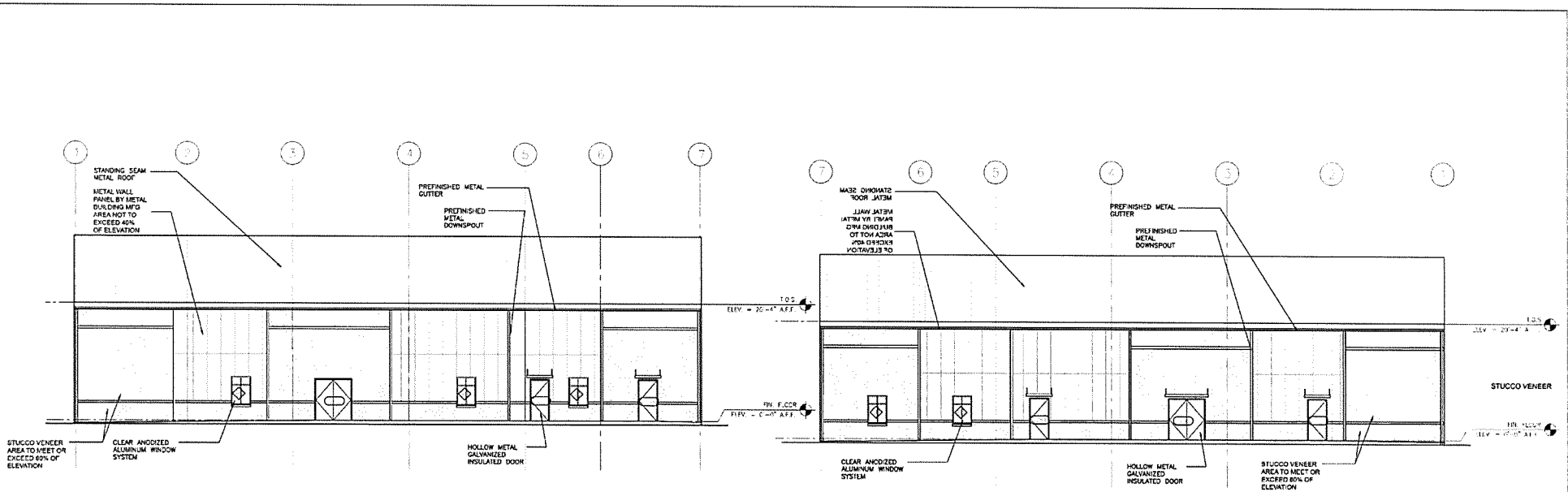
Sheep Information
Project No. 19-101
SM. Design: RCP & ROOF PLAN
Record Date: Jan. 3, 2020
Revisions



Sheet No.

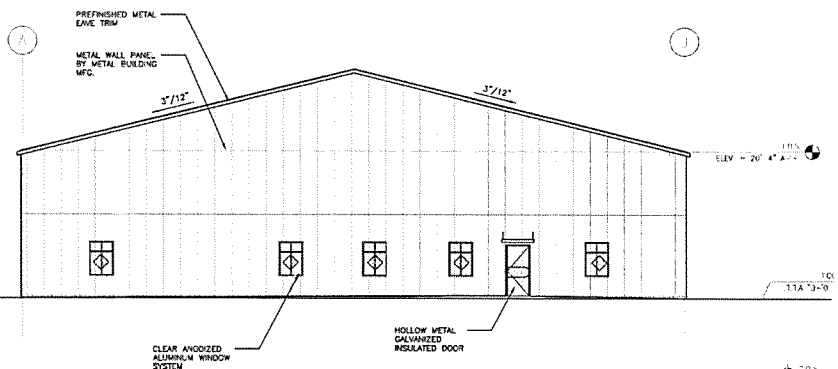
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A2.1

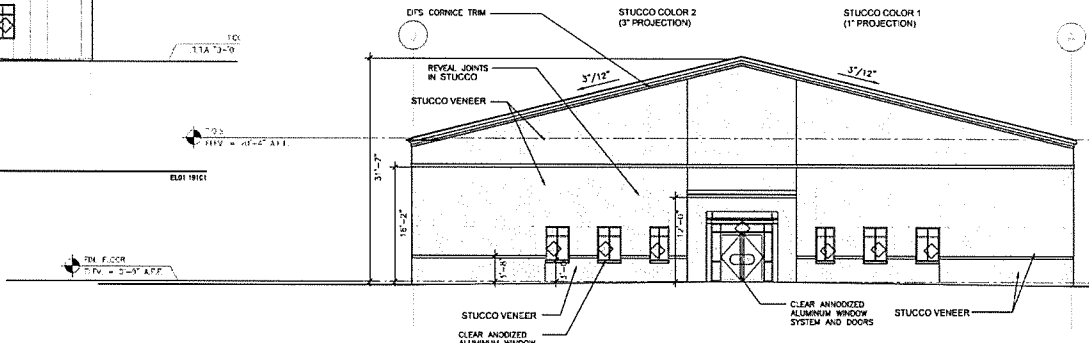


4 SIDE ELEVATION
A4.1 SCALE: 1/8"=1'-0"

3 SIDE ELEVATION
A4.1 SCALE: 1/8"=1'-0"



2 BACK ELEVATION
A4.1 SCALE: 1/8"=1'-0"



1 FRONT ELEVATION
A4.1 SCALE: 1/8"=1'-0"

Date:

**Shy Temple
Christian
Methodist
Episcopal**

2310 Wesley Chapel Rd.
DeKalb County, GA
Pastor James Clements

Project Title:

New Worship Facility

Project Team:

Builder:
CWS creative worship space

Sheet Information
Project No.: 19-101

Sht. Descript.: EXTERIOR ELEVATIONS
Record Date: Jan. 3, 2020

Revisions:

1

Scale:

Sheet No.

A4.1

8. LETTER OF APPLICATION

SUMMARY OF EXISTING & PROPOSED SITE CONDITIONS:

EXISTING SITE CONDITIONS:

Project: Shy Temple Christian Methodist Episcopal Church
Location: 2030 & 2020 Wesley Chapel Road Decatur, GA
Zoning: R-85 Residential
Tax Parcel ID: 15-159-09-007
Community District: District 5
District 5 Council Member: Marida Davis Johnson
Super District Member: Loraine Cochran Johnson
Existing Site Acreage: 12.0 Acres

Allowable Percent Impervious: 35% (4.2 Acres out of 12.0 Acres Total)
Existing Percent Impervious: 8.3% (1.0 Acres out of 12.0 Acres Total)

Allowable Side Yard Impervious Setback: 20-Feet
Existing Side Yard Impervious Setback: 20-Feet

Existing Number of Buildings: Three (3)
1. Existing Church Sanctuary Building (Bldg. A - 2,869 SF)
2. Existing Sunday School/Administrative Building (Bldg. B - 3,329 SF)
3. Existing Residential House (1,800 SF)
Existing Parking Space Count: 62 Spaces
Existing Commercial Driveways: One (1) Accessed from Wesley Chapel Road
Existing Residential Driveways: One (1) Accessed from Wesley Chapel Road

EXISTING STORM DRAINAGE:

One (1) existing storm drain inlet is located near the front right corner (southwest corner) of property and includes a small drainage swale/ponding area for this site. Existing 18-Inch RCP Storm Pipe is connected into the existing 30-Inch Roadway Storm Drain System of Wesley Chapel Road.

EXISTING SITE UTILITIES:

Water:

One (1) existing 1-Inch Domestic Water Service serving both buildings, (Bldg. A & Bldg. B). Existing 6-Inch Water Main and 20-Inch Water Main located within Right of Way of Wesley Chapel Road.

Sewer:

Two (2) existing 4-Inch sewer laterals, one for each building, (Bldg. A & Bldg. B). Existing 10-Inch Sewer Main (Clay) within Right of Way of Wesley Chapel Road.

Gas:

Existing gas main located with Right of Way of Wesley Chapel Road.

Power:

Overhead Power located within Right of Way of Wesley Chapel Road.

PROPOSED SITE CONDITIONS:

SITE DEMOLITION WORK:

Existing Church Sanctuary Building (Building A -2,869 SF) shall remain as-is.

Existing Classroom/Administrative/Fellowship Building (Building B-3,329 SF) shall remain as-is.

Existing Church Parking Lot to be restriped, including 9' Wide x 20' Long Parking Stalls and 25' Wide Drive Isles.

Existing Residential House (1,800 SF) and Asphalt Driveway shall remain as-is.

SITE CLEARING & GRUBBING WORK:

Site Clearing and Grubbing of disturbed site areas and removal of existing trees located within disturbed area.

NEW BUILDING & PARKING DATA:

| | |
|---|--|
| New Proposed Church Sanctuary Building: | One (1) 9,844 SF, 372 Seating Capacity |
| Total Required Parking: (1 Space/4 Seats) | 93 Required Parking Spaces |
| Existing Restriped Parking Spaces Provided: | 26 Spaces |
| New Parking Spaces Provided: | 61 Spaces |
| Total Provided Parking: | 87 Provided Parking Spaces (<10%) |

MODIFIED COMMERCIAL DRIVEWAY:

Existing Driveway Location Remains the Same;

New Asphalt Paved Driveway with new grades will be designed from existing concrete driveway apron up the new Building and Parking Lot Area.

SITE GRADING & DRAINAGE IMPROVEMENTS:

Site Grading & Drainage Improvements Required for New Church Sanctuary Building (9,844 SF – Building C) including Site Paving for Required 93 Parking Spaces Based upon 1 Parking Space Per 4 Seating Capacity.

Aboveground Detention Pond will be proposed and will be located at the rear of the Existing Classroom/Administrative Building. Drainage Inlets will be provided throughout the Church Building Parking Lots and will collect storm water run-off and route into the Proposed Detention Pond System. Storm Water Management Report is included for this project.

Storm Water Quality will be required and proposed by implementation of a permanent Wet Pond within the Detention Pond System.

WATER & SANITARY SEWER UTILITIES:

DOMESTIC WATER SERVICE:

New 2-Inch Domestic Water Meter and Backflow Preventor.

IRRIGATION WATER SERVICE:

Existing 1-Inch domestic water meter service will be re-used for new irrigation service and will be provided with new backflow preventer.

SEWER:

New 6-Inch Sewer Lateral will be extended from the New Church Building and will be connected into the Existing 6-Inch Sewer Lateral of the Existing Church Building that will remain as-is.

NEW TREE PLANTING PLAN:

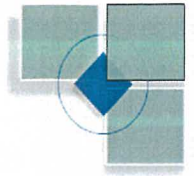
New Tree Planting Plan and Shrubs will be planted as required to conform to the DeKalb County Tree Ordinance and will be coordinated with DeKalb County Arborist.



DeKalb County Department of Planning & Sustainability

Lee May
Interim Chief Executive Officer

Andrew A. Baker, AICP
Director



A. Filing Fee: \$400. Filing fees shall not be refunded at any time following the deadline for amendments.

B. Criteria: Sec. 27-873. Special land use permits; criteria to be applied. The following criteria shall be applied by the Department of Planning and Sustainability, the Planning Commission, and the Board of Commissioners in evaluating and deciding any application for a special land use permit. No application for a special land use permit shall be granted by the Board of Commissioners unless satisfactory provisions and arrangements have been made concerning each of the following factors, all of which are applicable to each application:

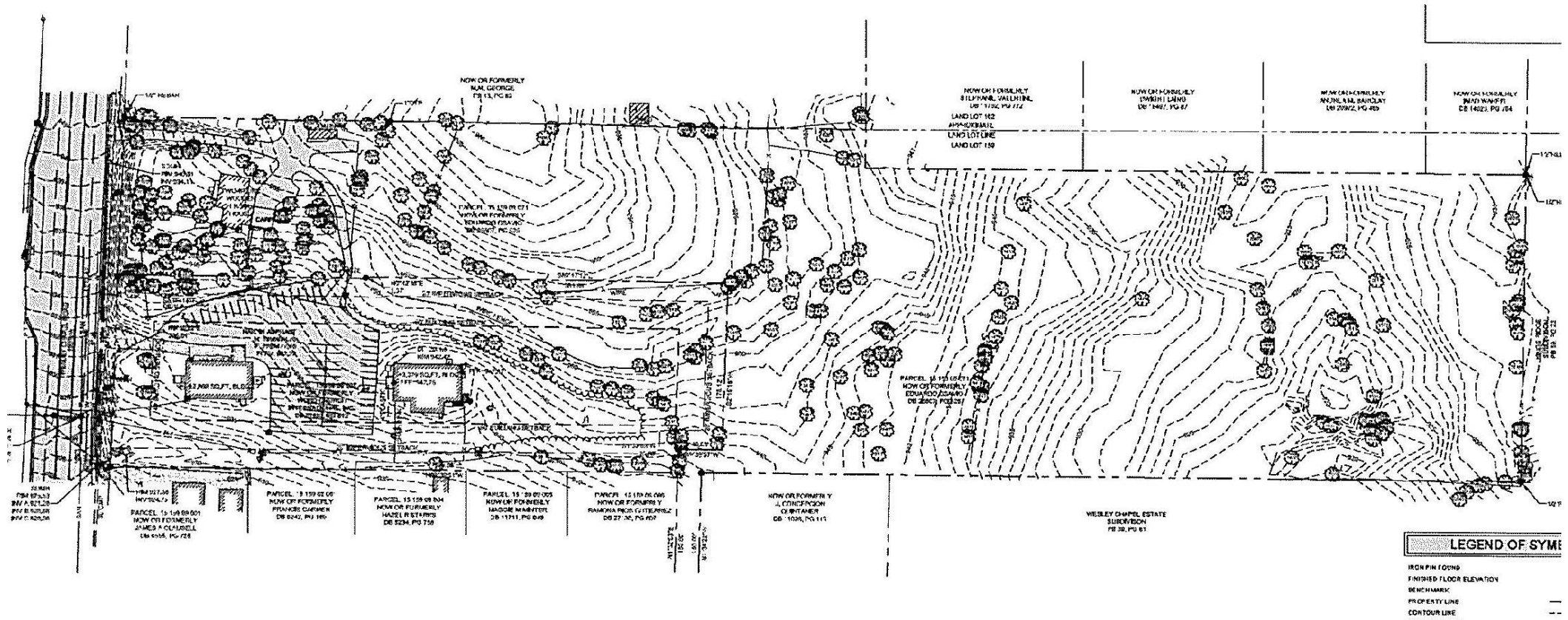
- A. Adequacy of the size of the site for use contemplated and whether or not adequate land area is available for the proposed use including provision of all required yards, open space, off-street parking, and all other applicable requirements of the zoning district in which the use is proposed to be located;
- B. Compatibility of the proposed use with adjacent properties and land uses and with other properties and land uses in the district;
- C. Adequacy of public services, public facilities, and utilities to serve the use contemplated;
- D. Adequacy of the public street on which the use is proposed to be located and whether or not there is sufficient traffic-carrying capacity for the use proposed so as not to unduly increase traffic and create congestion in the area;
- E. Whether or not existing land uses located along access routes to the site will be adversely affected by the character of the vehicles or the volume of traffic generated by the proposed use;
- F. Ingress and egress to the subject property and to all proposed buildings, structures, and uses thereon, with particular references to pedestrian and automotive safety and convenience, traffic flow and control, and access in the event of fire or other emergency;
- G. Whether or not the proposed use will create adverse impacts upon any adjoining land use by reason of noise, smoke, odor, dust, or vibration generated by the proposed use;
- H. Whether or not the proposed use will create adverse impacts upon any adjoining land use by reason of the hours of operation of the proposed use;
- I. Whether or not the proposed use will create adverse impacts upon any adjoining land use by reason of the manner of operation of the proposed use;
- J. Whether or not the proposed plan is consistent with all of the requirements of the zoning district classification in which the use is proposed to be located;
- K. Whether or not the proposed use is consistent with the policies of the Comprehensive Plan;
- L. Whether or not the proposed plan provides for all required buffer zones and transitional buffer zones where required by the regulations of the district in which the use is proposed to be located;
- M. Whether or not there is adequate provision of refuse and service areas;
- N. Whether the length of time for which the special land use permit is granted should be limited in duration;
- O. Whether or not the size, scale and massing of proposed buildings are appropriate in relation to the size of the subject property and in relation to the size, scale and massing of the adjacent and nearby lots and buildings;
- P. Whether the proposed plan will adversely affect historic buildings, sites, districts, or archaeological resources;
- Q. Whether the proposed use satisfies the requirements contained within the Supplemental Regulations for such special land use permit.
- R. Whether or not the proposed building as a result of its proposed height will create a negative shadow impact on any adjoining lot or building.
- S. Whether the proposed use would result in a disproportional proliferation of that or similar uses in the subject character area.
- T. Whether the proposed use would be consistent with the needs of the neighborhood or of the community as a whole, be compatible with the neighborhood, and would not be in conflict with the overall objectives of the comprehensive plan.

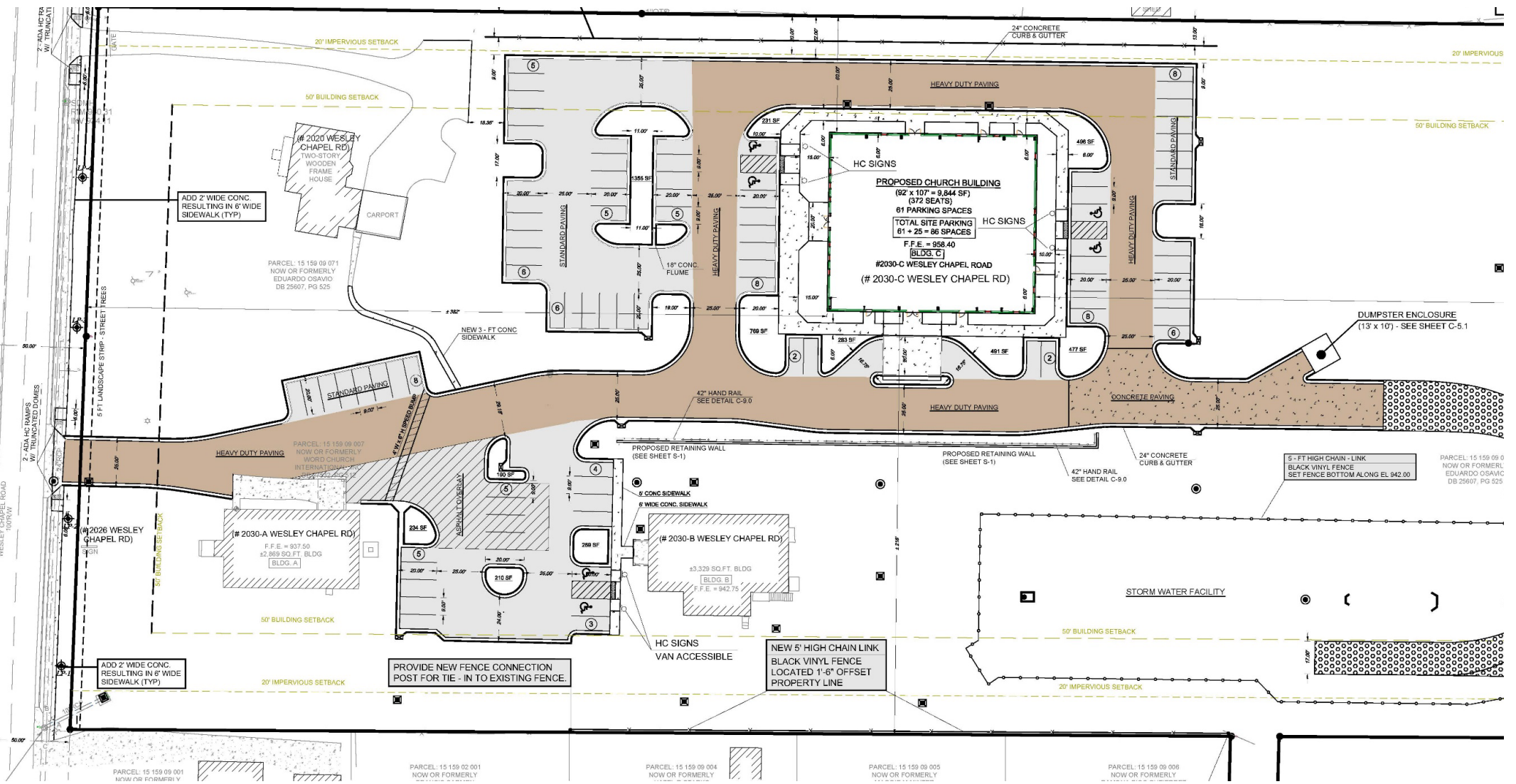
C. Additional Criteria is contained in Supplemental Regulations of Zoning Ordinance: Sec. 27-874. Additional criteria for specified uses: "In addition to the criteria contained in Sec. 27-873 and Sec. 27-863 listed above, which each applicant for special land use permit is required to meet, Article IV, Supplemental Regulations of the DeKalb County Zoning Ordinance shall apply to that specific land use being applied for. No application for a Special Land Use permit for the uses specified shall be granted by the Board of Commissioners unless it is determined that all requirements contained within the zoning district in which such property is located, and the criteria contained in Section 27-873 and Article IV, Supplemental Regulations have been met."

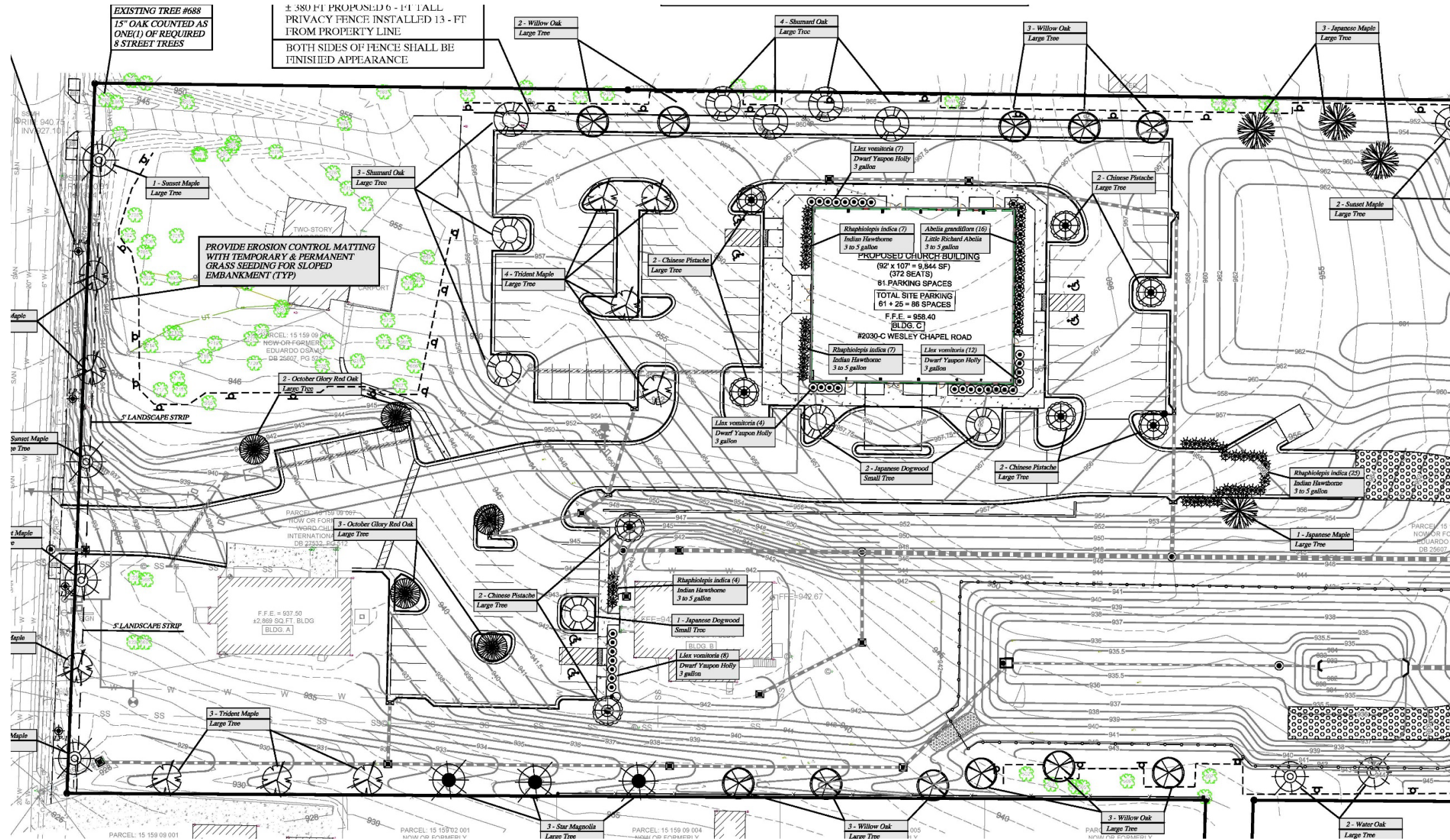
SPECIAL LAND USE PROPOSAL (SLUP)

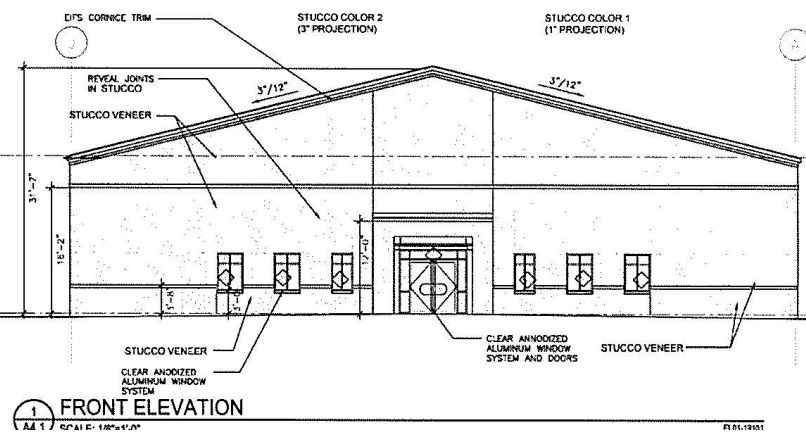
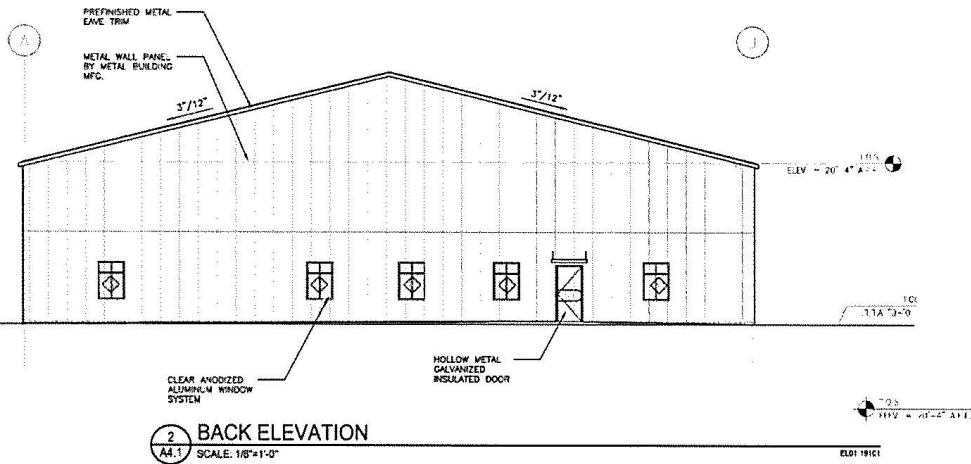
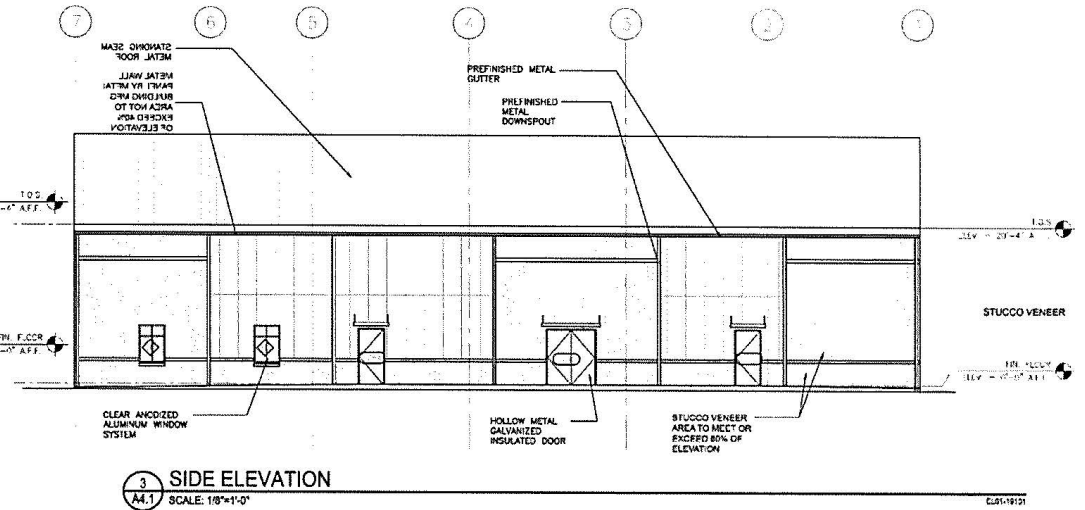
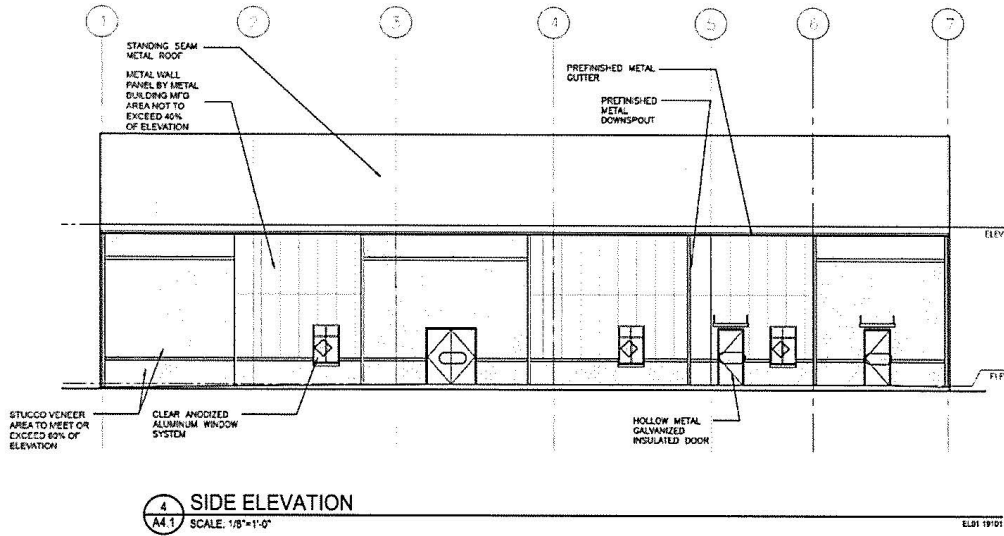
IMPACT ANALYSIS: (Criteria: Sec 27-873)

- A. Adequacy of the size of the site for the proposed use is of sufficient size (12.0 Total Acres), and can be verified by the attached Site Layout Plan Sheet C-5.0 and Site Grading & Drainage Plan Sheet C-6.0.
- B. Compatibility of the proposed church building expansion project with the surrounding properties and other land uses in the district is affirmative, since the property exists currently as an existing church campus including two (2) church buildings and associated parking; with the newly acquired 9 acre property addition, there is an existing residential house located near the front/west end the newly acquired property, which will remain as-is, with plans in the future to provide some restoration to the existing house.
- C. Adequacy of existing public utilities, including water and sewer and power is affirmative; existing 6-Inch sewer lateral is anticipated to be re-used for the new church building and a new 2-Inch domestic water meter and RPZ Backflow Preventor is proposed. Preliminary Utility Coordination has been included with Michelle Ott with DeKalb Water and Sewer for this project.
- D. Adequacy of public street is sufficient, with the existing concrete apron driveway to remain as-is in the same place, with new asphalt paved driveway alignment on private property shown on site plan.
- E. Properties located along Wesley Chapel Road will not be adversely affected by the new church building project; trip generations are anticipated to remain similar to existing traffic patterns, with majority of traffic being on Sunday mornings.
- F. Ingress and Egress for the proposed church building project will remain the same and or better conditions as currently exists, with no changes to the existing driveway point of access.
- G. Proposed Church Building Use will not create any adverse pollution via noise, smoke, dust, odor or vibration.
- H. Proposed hours of operation for the church will remain the same with services held of Sunday mornings and Wednesday evenings and will not create any hardships and or negative impacts.
- I. Manner of Operation for the Church Expanded Project will remain the same and will not adversely impact existing neighbors.
- J. Existing Zoning R-85 for the existing church property is consistent with all of the requirements of the zoning district classification.
- K. Church Expansion Project is consistent with the policies of the comprehensive Plan.
- L. Proposed Church Expansion Project will be designed to comply with the required Tree Ordinance specific to buffers and any tree mitigation requirements and or tree banks.
- M. Adequate provision of refuse and service area will remain the same and or improved from current conditions.
- N. No limitation for the length of time for the Special Land Use Permit should be applicable.
- O. The size, scale and massing of the new church building expansion will be consistent with adjacent and nearby lots and buildings.
- P. Proposed church building expansion project will not have any affect on any historic buildings, sites, districts, or archaeological resources.
- Q. Proposed church building expansion project does satisfy the requirements within the Supplemental Regulations for such special land use permit.
- R. Proposed church building height will not create any negative shadow impact on any adjoining lot or building. The new building height will be 25-feet tall.
- S. Proposed church building expansion project will not result in a disproportional proliferation specific to the subject character area.
- T. Proposed church building expansion project will be consistent with the needs of the neighborhood or of the community as a whole, and will be compatible with the neighborhood, and will not be in conflict with the overall objectives of the comprehensive plan.









Date:

Shy Temple Christian Methodist Episcopal

233C Wesley Chapel Rd.
 DeKalb County, GA
 Pastor James Cements

Project Title:
New Worship Facility

Project Team:

Builder:

CWS creative worship space

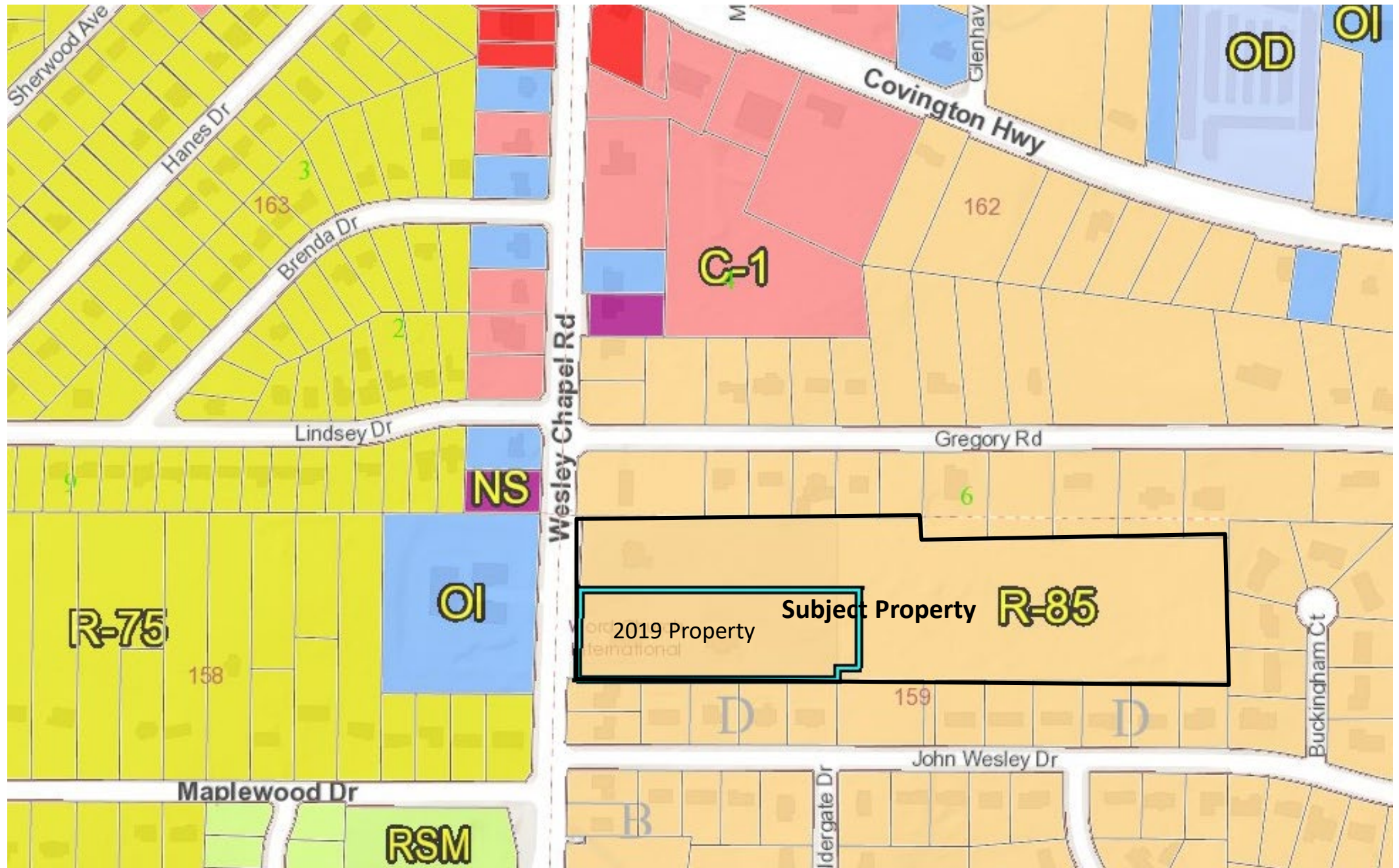
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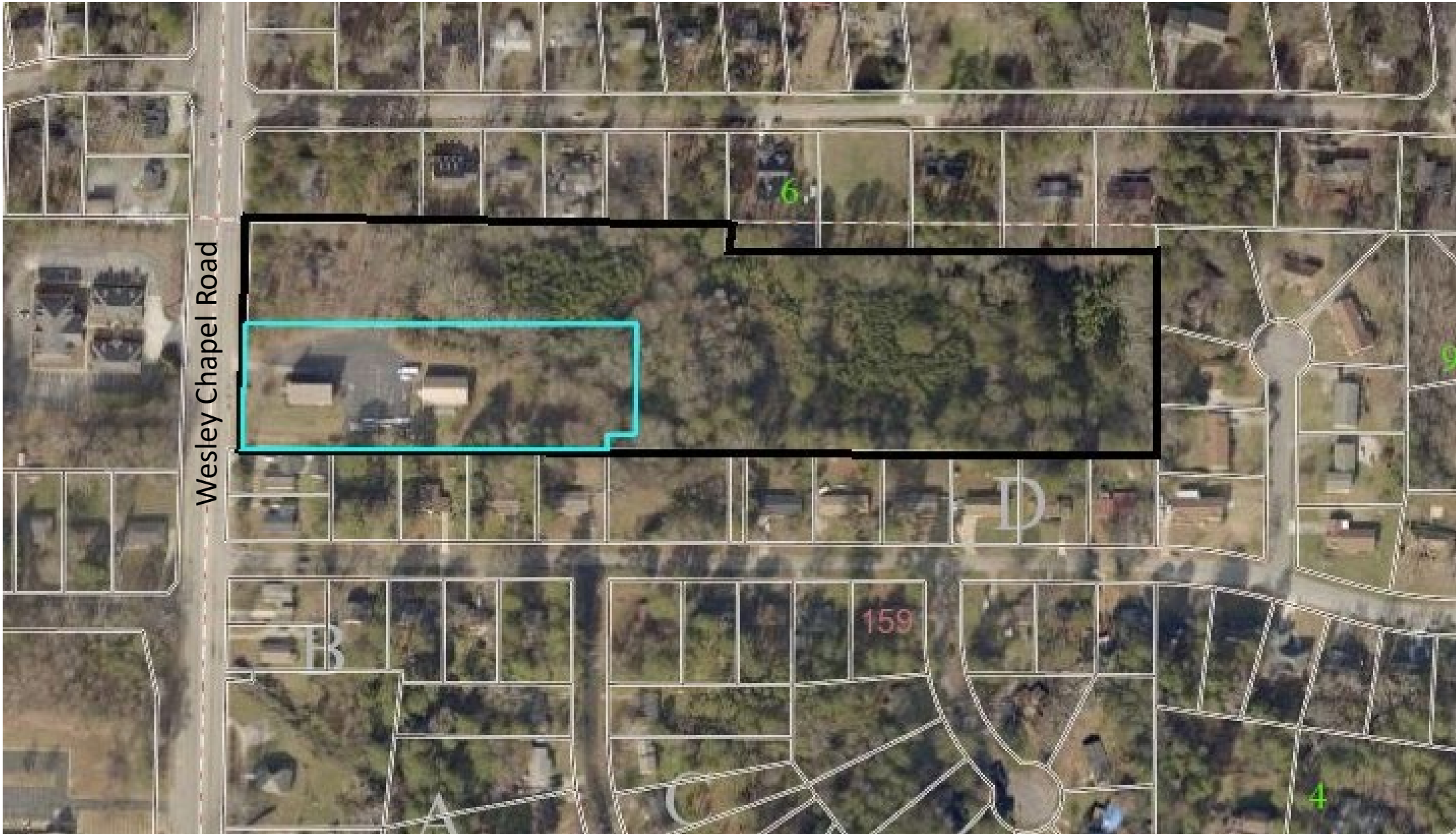
Sht. Descript.: EXTERIOR ELEVATIONS
 Record Date: Jan. 3, 2020
 Revisions:

1

Seal:

Sheet No. **A4.1**







Wesley Chapel Road frontage



(left) side of existing sanctuary and classroom/administrative/fellowship building, and north parking lot.

(right) 2030 Wesley Chapel Road, viewed from north parking lot.

