



**BAKER LANI DESIGN**

LANDSCAPE ARCHITECTURE  
LAND PLANNING  
CERTIFIED ARBORIST

3471 DONAVILLE RD.  
SUITE 200  
DULUTH, GA 30096  
PHONE: (404) 287-3973  
WWW.BAKERLANDDESIGN.COM

**TREE PLANTING PLAN**  
FOR  
OLD  
BRIARCLIFF  
ROAD

LOCATED IN  
LAND LOT 51  
18TH DISTRICT  
DEKALB COUNTY,  
GEORGIA

OWNER:  
RESIDENTIAL RECOVERY FUND  
LLC (TRINERY USA)  
CONTACT:  
DAN COTTER, DEVELOPMENT  
ANALYST 678-999-9991



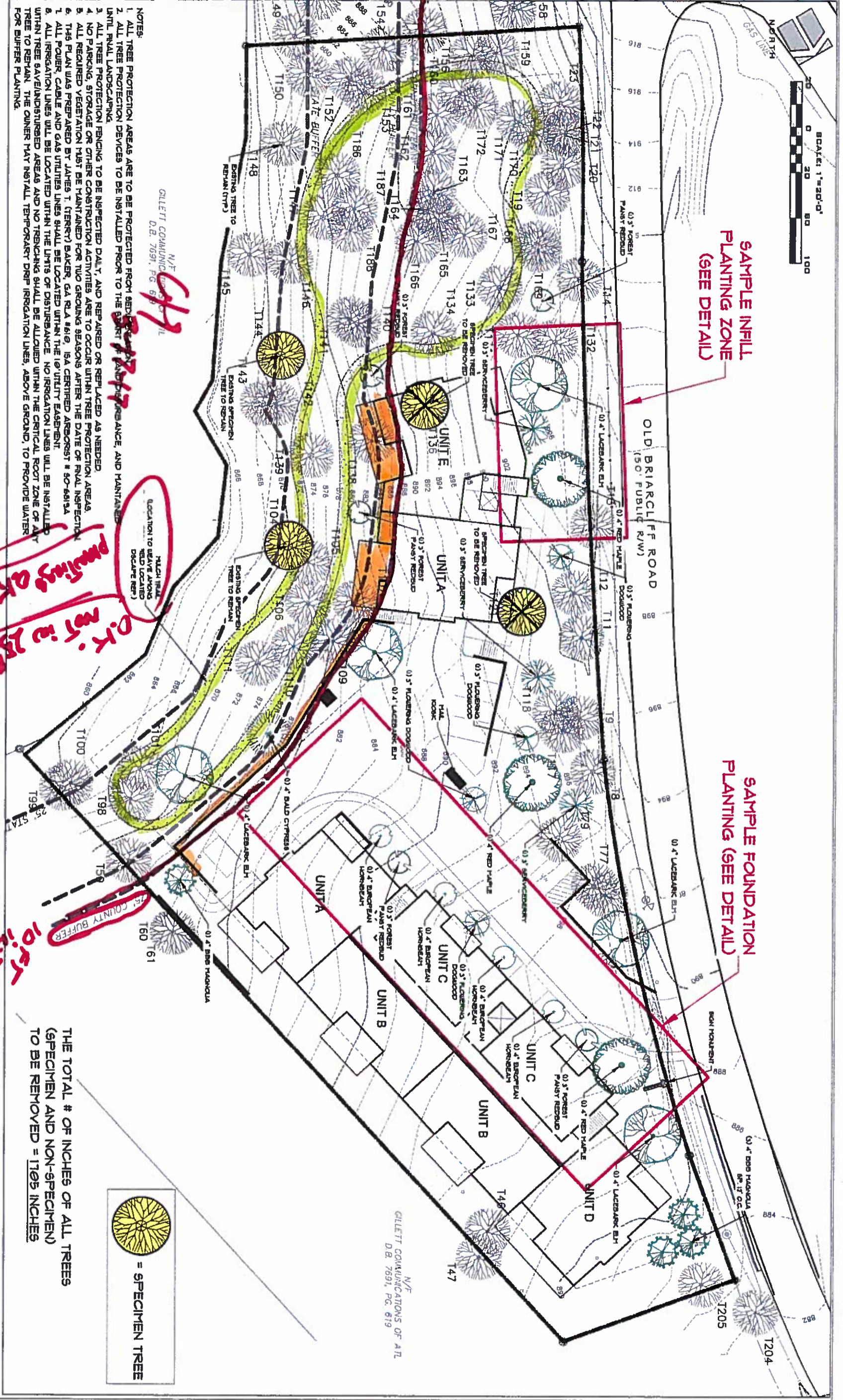
**REVISIONS**

2/10/21 CORRECT SCALE  
2/10/21 ADJUST BUILDING AND WALL LINES  
2/11/21 NEW ARCHITECTURE  
2/11/21 REVISED WALLS  
DRAWN BY: BH  
CHECKED BY: TB

SCALE: 1"=20'-0"  
DATE: 1/26/21  
JOB NO.  
SHEET 1 OF 3

**SAMPLE INFILL PLANTING ZONE**  
(SEE DETAIL)

**SAMPLE FOUNDATION PLANTING** (SEE DETAIL)



THE TOTAL # OF INCHES OF ALL TREES (SPECIMEN AND NON-SPECIMEN) TO BE REMOVED = 1705 INCHES

THE DEVELOPER WILL PLANT 103.5 CALIPER INCHES OF TREES ONSITE IN RANDOM LOCATIONS CHOSEN IN COORDINATION WITH DRUID HILLS REPRESENTATIVE CHRISTOPHER LIGGETT (EX. U.S. FOREST SERVICE). THE DEVELOPER WILL FIND AN ADDITIONAL 1601.5 CALIPER INCHES OF TREES TO BE PLANTED THROUGHOUT THE DRUID HILLS HISTORIC DISTRICT. THE TREE SPECIES WILL BE SELECTED FROM THE DRUID HILLS RECOMMENDED PLANT LIST.

TOTAL SITE AREA = 2.2 AC, BUFFER AREA = .68 AC  
2.2 - .68 = 1.52

1.52 X 30 UNITS/AC = 45.6 UNITS REQ.  
EXISTING DENSITY FACTOR TO REMAIN (OUTSIDE OF BUFFERS) = 202.6 UNITS  
THEREFORE DENSITY FACTOR SATISFIED

TOTAL INCHES OF SPECIMEN TREES REMOVED = 69 INCHES  
SPECIMEN RECOMPENSE: 69 X 1.5 = 103.5 INCHES REQUIRED  
104 = INCHES PROPOSED

- NOTES:  
1. ALL TREE PROTECTION AREAS ARE TO BE PROTECTED FROM SEDIMENTATION AND DAMAGE UNTIL FINAL LANDSCAPING.  
2. ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED.  
3. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPAIRED OR REPLACED AS NEEDED.  
4. NO PARKING, STORAGE OR OTHER CONSTRUCTION ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.  
5. ALL REQUIRED VEGETATION MUST BE MAINTAINED FOR TWO GROWING SEASONS AFTER THE DATE OF FINAL INSPECTION.  
6. THIS PLAN WAS PREPARED BY JAMES T. TERRY, ARBORIST, GA R.L.A. #618, ISA CERTIFIED ARBORIST # 50-6919A.  
7. ALL POWER, CABLE AND GAS UTILITIES LINES SHALL BE LOCATED WITHIN THE 10' UTILITY EASEMENT.  
8. ALL IRRIGATION LINES WILL BE LOCATED WITHIN THE LIMITS OF DISTURBANCE. NO IRRIGATION LINES WILL BE INSTALLED WITHIN TREE SAVELANDS/DISTURBED AREAS AND NO TREES SHALL BE ALLOWED WITHIN THE CRITICAL ROOT ZONE OF ANY TREE TO REMAIN. THE OWNER MAY INSTALL TEMPORARY DIRT IRRIGATION LINES, ABOVE GROUND, TO PROVIDE WATER FOR BUFFER PLANTING.

**SCHEDULE AND MAINTENANCE OF TREE SAVE MEASURES**

- THE OWNER SHALL INSTALL TREE SAVE FENCE PRIOR TO SITE CLEARING. ANY TREE SAVE FENCE THAT IS DAMAGED DURING THE CLEARING OPERATION SHALL BE IMMEDIATELY REPAIRED.
- THE OWNER SHALL MAKE WEEKLY INSPECTIONS OF THE TREE FENCE. ANY TREE FENCE THAT IS DAMAGED SHALL BE REPAIRED WITHIN 24 HOURS.
- TREE FENCE SHALL NOT BE REMOVED UNTIL GRADING, UTILITY INSTALLATION, RETAINING WALL INSTALLATION AND ADJACENT BUILDING CONSTRUCTION IS COMPLETE.

N/1  
GILLET COMMUNICATIONS OF ATL  
D.B. 7691, PG. 81

N/1  
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D.B. 7691, PG. 819