



DeKalb County Department of Planning & Sustainability

178 Sams Street
Decatur, GA 30030

(404) 371-2155 / www.dekalbcountyga.gov/planning

Planning Commission Hearing Date: September 1, 2022

Board of Commissioners Hearing Date: October 4, 2022

STAFF ANALYSIS

Case No.: Z-22-1245928 **Agenda #:** N7

Location/Address: The east side of Mountain View Drive, approximately 165 feet south of Mountain Springs Way at 875 and 883 Mountain View Drive in Stone Mountain, GA **Commission District:** 4 **Super District:** 7

Parcel ID(s): 18 091 03 0006; 18 091 03 048

Request: To rezone properties from R-75 (Residential Medium Lot-75) to R-60 (Residential Small Lot-60) District to allow for the construction of a single-family, detached residential subdivision.

Property Owner(s): El Amar Engineering & Construction

Applicant/Agent: El Amar Engineering & Construction c/o Battle Law, P.C.

Acreage: 2.71

Surrounding Properties: Surrounding properties to the north contain single-family detached residential and are zoned RSM; properties to the east, west, and south are zoned R-75 and are occupied by single-family, detached homes.

Comprehensive Plan: SUB (Suburban) Consistent Inconsistent

Proposed Density: 3.69 units/acre	Existing Density: N.A.
Proposed Units: 10 single-family, detached units	Existing Units: One vacant single-family detached home
Proposed Lot Coverage: NA	Existing Lot Coverage: N.A.

STAFF RECOMMENDATION (REVISED 9 12 22): APPROVAL WITH CONDITIONS

The request for a single-family, zoning district (R-60) and single-family, detached residential uses appears to be consistent with the policies and strategies of the *2035 Comprehensive Plan* to protect stable neighborhoods from incompatible development that could alter established single-family residential development patterns and density (*SUB Character Area Residential Protection*). The proposed single-family, detached residential land uses are consistent with adjacent and surrounding single-family residential uses in the vicinity. The proposed 6,000 square foot lots are consistent with the six abutting single-family lots within the Countryside Manor Subdivision to the south (in the City of Stone Mountain) with an average lot size of 6,243 square feet. While no transitional buffer is required, the plan notes that a 5-foot-wide landscape buffer will be provided along the perimeter of the project site which should enhance compatibility with surrounding properties. Therefore, it is the recommendation of the Planning & Sustainability Department that the application be “Approved” with Staff’s recommended conditions below. The approval of this rezoning application by the Board of Commissioners shall have no bearing on the requirements for other regulatory approvals under the authority of the Zoning Board of Appeals or other entity whose decision should be based on the merits of the application under review by such entity.

1. The subject property shall be developed for a maximum of 10 single-family, detached fee-simple lots.
2. Locations of proposed lots and open space shall be generally consistent with the locations shown on the plan dated “01/06/22” and titled “*El Amar Engineering & Construction*”.
3. Any fences or walls proposed along Mountain View Drive shall comply with the wall and fence regulations of the Zoning Ordinance.
4. All home designs shall be consistent with the “Type A,” “Type B,” and/or “Type C” elevations included in this case packet and must comply with the applicable provisions of Article 5 of the *Zoning Ordinance* related to building form and design.
5. The development shall have a mandatory property owners association, in accordance with Article 5.7.6.c.11 of the Zoning Ordinance. The applicant must provide evidence of a legal mechanism under which all land to be held in common and used for greenspace purposes within the development and all landscaping and street trees along Mountain View Road and the proposed internal residential street (outside of the right-of-way) shall be protected in perpetuity. Existing trees located within designated open space areas that are not proposed for trails, buildings, structures, or parking lots or those likely to be impacted by necessary grading shall be preserved.
6. The developer shall construct a monument style, subdivision sign on community property along Mountain View Drive and/or the new right-of-way. Signage shall comply with applicable sections of the *Sign Ordinance*.



**DEKALB COUNTY GOVERNMENT
PLANNING DEPARTMENT
DISTRIBUTION FORM**

NOTE: PLEASE RETURN ALL COMMENTS VIA EMAIL OR FAX TO EXPEDITE THE PROCESS TO MICHELLE ALEXANDER mmalexander@dekalbcountyga.gov AND/OR LASONDRA HILL lahill@dekalbcountyga.gov

**COMMENTS FORM:
PUBLIC WORKS WATER AND SEWER**

Case No.: _____

Parcel I.D. #: 18-091-03-006, 18-091-03-048

Address: 883 and 875 Mountain View Drive
Stone Mountain, Georgia 30083

WATER:

Size of existing water main: 6" AC, may be inadequate (adequate/inadequate)

Distance from property to nearest main: Adjacent

Size of line required, if inadequate: unknown

SEWER:

Outfall Servicing Project: Barbashela Creek

Is sewer adjacent to property: Yes () No () If no, distance to nearest line: ~175 ft. to the north

Water Treatment Facility: Snapfinger (adequate () inadequate)

Sewage Capacity: 36 (MGPD) Current Flow: 28.25 (MGPD)

COMMENTS:

Will require sewer capacity approval.

Signature: _____

8/15/2022

To: Ms. Andrea Folgherait, Planning and Ms. LaShonda Hill
From: Ryan Cira, Director
Cc: Alan Gaines, Environmental Health Deputy Director
Re: Rezone Application Review

General Comments:

DeKalb County Health Regulations prohibit use of on-site sewage disposal systems for

- multiple dwellings
- food service establishments
- hotels and motels
- commercial laundries
- funeral homes
- schools
- nursing care facilities
- personal care homes with more than six (6) clients
- child or adult day care facilities with more than six (6) clients
- residential facilities containing food service establishments

If proposal will use on-site sewage disposal, please contact the Land Use Section (404) 508-7900.

Any proposal, which will alter wastewater flow to an on-site sewage disposal system, must be reviewed by this office prior to construction.

This office must approve any proposed food service operation or swimming pool prior to starting construction.

Public health recommends the inclusion of sidewalks to continue a preexisting sidewalk network or begin a new sidewalk network. Sidewalks can provide safe and convenient pedestrian access to a community-oriented facility and access to adjacent facilities and neighborhoods.

For a public transportation route, there shall be a 5ft. sidewalk with a buffer between the sidewalk and the road. There shall be enough space next to sidewalk for bus shelter's concrete pad installation.

Since DeKalb County is classified as a Zone 1 radon county, this office recommends the use of radon resistant construction.

Zoning Comments - September 2022

N2. SLUP-22-1245880 - Briarcliff Road is SR 42. GDOT review and approval needed prior to Land Development Permit. (MWilson@dot.ga.gov). The property is within the Druid Hills Historic District. Please see the planner assigned to this district for infrastructure requirements- as the Overlay Districts trump the Zoning Code which trumps the Land Development Code. **Briarcliff Road** is classified as a minor arterial. Where silent the following minimum infrastructure requirements must be met: Right of way dedication of 40 feet from centerline OR such that all public infrastructure is within county right of way, whichever greater, a 6 foot sidewalk (Zoning Code) with a 4 foot bike lane (Land Development Code) OR a 10 foot shared multiuse path (preferred) located 5 feet from back of curb, Pedestrian Scale Street lighting required (Contact Street Light Engineer, Herman Fowler: hefowler@dekalbcountyga.gov), 11 foot travel lanes with curb and gutter. University Drive is classified as a local residential road. Where silent the following minimum infrastructure requirements must be met: Right of way dedication of 27.5 feet from centerline OR such that all public infrastructure is within county right of way, whichever greater, a 12 foot travel lane from centerline, curb and gutter, a 5 foot sidewalk (Zoning Code) located 5 feet from back of curb, Pedestrian Scale Street lighting required (Contact Street Light Engineer, Herman Fowler: hefowler@dekalbcountyga.gov). Concerned about the entrance and the interior intersection being too close and impacting Briarcliff Road. Traffic Study required to include a traffic signal warrant study at main entrance. Traffic operations at access point on University Drive will also need to be considered- as this will be a non-traditional intersection. Interior streets to be private. At time of permitting, verify sight distance at intersection of access points and Briarcliff Road and University Drive.

N3 & N4. Z-22-1245923 & SLUP-22-1245924 - North Decatur Road is classified as a minor arterial. The following minimum infrastructure requirements must be met: Right of way dedication of 40 feet from centerline OR such that all public infrastructure is within county right of way, whichever greater, a 6 foot sidewalk (Zoning Code) with 11 foot travel lane with curb and gutter, a 4 foot bike lane (Land Development Code) OR a 10 foot shared multiuse path (preferred) located 5 feet from back of curb, Pedestrian Scale Street lighting required (Contact Street Light Engineer, Herman Fowler: hefowler@dekalbcountyga.gov). Please see Land Development Code Section 14-200 (5) for the number of access points required by code for 200 units. Please see separation of access points Land Development Code Section 14-200 (6) which applies to both sides of the street. If you are seeking a variance for anything is Code Section 14-200 from the Board of Commissioners, I suggest you do it as part of your zoning.

N5. SLUP-22-1245924 - Shallowford and Braircliff Roads are classified as a minor arterials. The following minimum infrastructure requirements must be met: Right of way dedication of 40 feet from centerline OR such that all public infrastructure is within county right of way, whichever greater, an 11 foot travel lane from centerline with curb and gutter, a 6 foot sidewalk (Zoning Code) with a 4 foot bike lane (Land Development Code) OR a 10 foot shared multiuse path (preferred) located 5 feet from back of curb, Pedestrian Scale Street lighting required (Contact Street Light Engineer, Herman Fowler: hefowler@dekalbcountyga.gov). Dedicate necessary right of way for the extension of the right turn lane from Briarcliff Road onto Shallowford Road.

N6. SLUP-22-1245925 - No Comment

N7. Z-22-1245928 - Mountain View Drive is classified as a collector street. The following minimum infrastructure requirements must be met: Right of way dedication of 35 feet from centerline OR such that

all public infrastructure is within county right of way, whichever greater, an 11 foot travel lane with curb and gutter, a 6 foot sidewalk (Zoning Code) with a 4 foot bike lane (Land Development Code) OR a 10 foot shared multiuse path (preferred) located 5 feet from back of curb, Pedestrian Scale Street lighting required (Contact Street Light Engineer, Herman Fowler: hefowler@dekalbcountyga.gov). New local public streets have the following minimum requirements: Right of way dedication of 55 feet, 24 feet of pavement with curb and gutter, a 5 foot sidewalk (Zoning Code) located 6 feet from back of curb, Pedestrian Scale Street lighting required (Contact Street Light Engineer, Herman Fowler: hefowler@dekalbcountyga.gov). Please see separation of access points Land Development Code Section 14-200 (6) which applies to both sides of the street. If you are seeking a variance for anything is Code Section 14-200 from the Board of Commissioners, I suggest you do it as part of your zoning.

N8. Z-22-1245935 - Jordan Lane & Reverend D.L. Edwards Drive are classified as local streets have the following minimum requirements: Right of way dedication of 27.5 feet from centerline, 12 foot travel lane from Centerline with curb & gutter, a five foot planting strip and a 5 foot sidewalk (Zoning Code), Pedestrian Scale Street lighting required (Contact Street Light Engineer, Herman Fowler: hefowler@dekalbcountyga.gov). Developer required to pay to relocate traffic calming speed table away from proposed driveways. Driveways need to be at least 33 feet apart (edge of drive to edge of drive) from each other to fit the relocated speed table. May need to flip driveway location on corner lot to accommodate.

N9 & N10. Z-22-1245856 & SLUP-22-1245857 - No comment.

N11. Z-22-1245874 - Clairmont Road is SR 155. GDOT review and approval needed prior to Land Development Permit. (MWilson@dot.ga.gov). Donate right of way necessary for GDOT's project at Clairmont Road project. Briarcliff Road is classified as a minor arterial. Where silent the following minimum infrastructure requirements must be met: Right of way dedication of 40 feet from centerline OR such that all public infrastructure is within county right of way, whichever greater, a 6 foot sidewalk (Zoning Code) with a 4 foot bike lane (Land Development Code) OR a 10 foot shared multiuse path (preferred) located 5 feet from back of curb, Pedestrian Scale Street lighting required (Contact Street Light Engineer, Herman Fowler: hefowler@dekalbcountyga.gov), 11 foot travel lanes with curb and gutter. Additional comments may be warranted after receipt of traffic study.

N12. & N13. LP-22-1245937 & Z-22-1245875 - No comments.

N14. Z-22-1245876 - 1893, 1901 and 1909 are within the I-20 Overlay District, Tier 2. Please see the planner assigned to this district for infrastructure requirements- as the Overlay Districts trump the Zoning Code which trumps the Land Development Code. East Field Street, Glenvalley Dr & Northview Ave are classified as local streets. Improvements required on all frontages. Where the overlay district is silent the following minimum infrastructure requirements must be met: Right of way dedication of 27.5 feet from centerline, 12 foot travel lane from Centerline with curb & gutter, a five foot planting strip and a 5 foot sidewalk (Zoning Code), Pedestrian Scale Street lighting required (Contact Street Light Engineer, Herman Fowler: hefowler@dekalbcountyga.gov). Please note that the required right of way dedication may have significant impacts to your site plans. Please review.

N15. SLUP-22-1245885 - Chamblee Tucker Road is classified a minor arterial. The following minimum infrastructure requirements must be met: Right of way dedication of 40 feet from centerline OR such that all public infrastructure is within county right of way, whichever greater, a 6 foot sidewalk (Zoning Code)

with a 4 foot bike lane (Land Development Code) OR a 10 foot shared multiuse path (preferred) located 5 feet from back of curb, Pedestrian Scale Street lighting required (Contact Street Light Engineer, Herman Fowler: hefowler@dekalbcountyga.gov), 11 foot travel lanes with curb and gutter. If you are seeking a variance for the bike facility requirements, I would do so during zoning. Bolissa Drive is classified as a local road with the following minimum requirements: Right of way dedication of 27.5 feet from centerline, 12 foot travel lane from Centerline with curb & gutter, a five foot planting strip and a 5 foot sidewalk (Zoning Code), Pedestrian Scale Street lighting required (Contact Street Light Engineer, Herman Fowler: hefowler@dekalbcountyga.gov).

N16. & N17. LP-22-1245892 & Z-22-1245922 - Properties are located in the Covington Overlay District. Please see the planner assigned to this district for infrastructure requirements- as the Overlay Districts trump the Zoning Code which trumps the Land Development Code. Redan Road and Longshore Drive are classified as local roads. Where silent the following minimum infrastructure requirements must be met: Right of way dedication of 27.5 feet from centerline, 12 foot travel lane from Centerline with curb & gutter, a five foot planting strip and a 5 foot sidewalk (Zoning Code), Pedestrian Scale Street lighting required (Contact Street Light Engineer, Herman Fowler: hefowler@dekalbcountyga.gov). Interior streets to be private.

N18. CZ-22-1245934 - Lawrenceville Hwy is a State Route. GDOT review and approval needed prior to Land Development Permit. (MWilson@dot.ga.gov). Lawrenceville Hwy is classified as a major arterial. The following minimum infrastructure requirements must be met: Right of way dedication of 50 feet from centerline OR such that all public infrastructure is within county right of way, whichever greater, a 6 foot sidewalk (Zoning Code) with a 4 foot bike lane (Land Development Code) OR a 10 foot shared multiuse path (preferred) located 5 feet from back of curb, Pedestrian Scale Street lighting required (Contact Street Light Engineer, Herman Fowler: hefowler@dekalbcountyga.gov), 11 foot travel lanes with curb and gutter. Jordan Lane is classified as a local road. The following minimum requirements must be met: Right of way dedication of 27.5 feet from centerline, 12 foot travel lane from centerline with curb & gutter, a five foot planting strip and a 5 foot sidewalk (Zoning Code), Pedestrian Scale Street lighting required (Contact Street Light Engineer, Herman Fowler: hefowler@dekalbcountyga.gov). Add pedestrian crossing and ADA ramps to the intersection of Jordan Lane at Lawrenceville Hwy.

**DeKalb County School District
Development Review Comments**

Analysis Date: 8/15/2022

Submitted to: DeKalb County

Case #: Z-22-1245928

Parcel #: 18-091-03-006/-048

Name of Development: 883 Mountain View Drive
Location: Mountain View Drive near Mountain Springs Way

Description: Rezoning request to allow for redevelopment of a single-family home into 10 single-family homes.

Impact of Development: When fully constructed, this development would be expected to generate 4 students: 1 at Rockbridge Elementary, 0 at Stone Mountain Middle School, 1 at Stone Mountain High School, 1 at other DCSD schools, and 1 at private school. Stone Mountain HS is already at capacity, but the impact from this development is expected to be minimal.

Current Condition of Schools	Rockbridge Elementary	Stone Mountain Middle School	Stone Mountain High School	Other DCSD Schools	Private Schools	Total
Capacity	984	1,410	1,209			
Portables	0	0	0			
Enrollment (Oct. 2021)	946	1,067	1,222			
Seats Available	38	343	-13			
Utilization (%)	96.1%	75.7%	101.1%			

New students from development 1 0 1 1 1 4

New Enrollment	947	1,067	1,223
New Seats Available	37	343	-14
New Utilization	96.2%	75.7%	101.2%

Yield Rates	Attend Home School	Attend other DCSD School	Private School	Total
Elementary	0.1148	0.0362	0.0136	0.1647
Middle	0.0332	0.0322	0.0166	0.0821
High	0.0549	0.0514	0.0447	0.1509
Total	0.2029	0.1199	0.0749	0.3977
Student Calculations				
Proposed Units	10			
Unit Type	SF			
Cluster	Stone Mountain High School			
Units x Yield	Attend Home School	Attend other DCSD School	Private School	Total
Elementary	1.15	0.36	0.14	1.65
Middle	0.33	0.32	0.17	0.82
High	0.55	0.51	0.45	1.51
Total	2.03	1.19	0.76	3.98
Anticipated Students	Attend Home School	Attend other DCSD School	Private School	Total
Rockbridge Elementary	1	0	0	1
Stone Mountain Middle School	0	0	0	0
Stone Mountain High School	1	1	1	3
Total	2	1	1	4



DEKALB COUNTY GOVERNMENT PLANNING DEPARTMENT DISTRIBUTION FORM

The following areas below may warrant comments from the Development Division. Please respond accordingly as the issues relate to the proposed request and the site plan enclosed as it relates to Chapter 14. You may address applicable disciplines.

DEVELOPMENT ANALYSIS:

- **Storm Water Management**

Compliance with the Georgia Stormwater Management Manual, DeKalb County Code of Ordinances 14-40 for Stormwater Management and 14-42 for Storm Water Quality Control **(sections have been amended recently; please request the amended chapter)**, to include Runoff Reduction Volume where applicable is required as a condition of land development permit approval. Use Volume Three of the G.S.M.M. for best maintenance practices. Use the NOAA Atlas 14 Point Precipitation Data set specific to the site. Recommend Low Impact Development features/ Green Infrastructure be included in the proposed site design to protect as much as practicable the statewaters and special flood hazard areas.

The location of the detention pond raises concern regarding where the pond will be discharging. The discharge point of the pond shall be identified. Pond shall not be discharged or released towards the rear of single family homes. The discharge from the pond shall be directed to a conveyance system capable of carrying the runoff safely without any adverse effect to the properties downstream

Additional consideration must be given to the 10% downstream analysis.

Runoff Reduction Volume shall be provided, unless technical justification is provided in regard to the unfeasibility. Strongly recommend investigating the site and identify location where RRv can be provided and re-design/revise the layout to comply with the RRv requirement.

- **Flood Hazard Area/Wetlands**

The presence of FEMA Flood Hazard Area **was not** indicated in the County G.I.S. mapping records for the site; and should be noted in the plans at the time of any land development permit application. Encroachment of flood hazard areas require compliance with Article IV of Chapter 14 and FEMA floodplain regulations

- **Landscaping/Tree Preservation**

Landscaping and tree preservation plans for any building, or parking lot must comply with DeKalb County Code of Ordinances 14-39 as well as Chapter 27 Article 5 and are subject to approval from the County Arborist.

- **Tributary Buffer**

State water buffer **was not** reflected in the G.I.S. records for the site. Typical state waters buffer have a 75' undisturbed stream buffer and land development within the undisturbed creek buffer is prohibited without a variance per DeKalb County Code of Ordinances 14-44.1.



**DEKALB COUNTY GOVERNMENT
PLANNING DEPARTMENT
DISTRIBUTION FORM**

N-7

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**COMMENTS FORM:
PUBLIC WORKS TRAFFIC ENGINEERING**

Case No.: Z-22-1245928 Parcel I.D. #: 18-091-03-006

Address: 883

Mountain View Dr
St. Lawrence, GA 30083

Memorial Dr **Adjacent Roadway (s):** Major

(classification) (classification)

Capacity (TPD) _____	Capacity (TPD) _____
Latest Count (TPD) _____	Latest Count (TPD) _____
Hourly Capacity (VPH) _____	Hourly Capacity (VPH) _____
Peak Hour. Volume (VPH) _____	Peak Hour. Volume (VPH) _____
Existing number of traffic lanes _____	Existing number of traffic lanes _____
Existing right of way width _____	Existing right of way width _____
Proposed number of traffic lanes _____	Proposed number of traffic lanes _____
Proposed right of way width _____	Proposed right of way width _____

Please provide additional information relating to the following statement.

According to studies conducted by the Institute of Traffic Engineers (ITE) 6/7TH Edition (whichever is applicable), churches generate an average of fifteen (15) vehicle trip end (VTE) per 1,000 square feet of floor area, with an eight (8%) percent peak hour factor. Based on the above formula, the _____ square foot place of worship building would generate _____ vehicle trip ends, with approximately _____ peak hour vehicle trip ends.

Single Family residence, on the other hand, would generate ten (10) VTE's per day per dwelling unit, with a ten (10%) percent peak hour factor. Based on the above referenced formula, the _____ (Single Family Residential) District designation which allows a maximum of _____ units per acres, and the given fact that the project site is approximately _____ acres in land area, _____ daily vehicle trip end, and _____ peak hour vehicle trip end would be generated with residential development of the parcel.

COMMENTS:

Plans and field reviewed. Nothing to indicate change of pattern to traffic flow.

Signature: [Signature]

DEPARTMENT OF PLANNING & SUSTAINABILITY

Rezoning Application to Amend the Official Zoning Map of DeKalb County, Georgia

Date Received: _____ Application No: _____

Applicant Name: El Amar Engineering and Construction, Inc. c/o Battle Law, P.C.

Applicant E-Mail Address: mlb@battlelawpc.com

Applicant Mailing Address: 3562 Habersham at Northlake, Building J, Suite 100, Tucker, Georgia 30084

Applicant Daytime Phone: 404-601-7616 Fax: 404-745-0045

Owner Name: El Amar Engineering and Construction, Inc.

If more than one owner, attach list of owners.

Owner Mailing Address: 455 Sailmaker Circle Alpharetta, Georgia 30022

Owner Daytime Phone: _____

Address of Subject Property: 883, 875 Mountain View Drive Stone Mountain, Georgia 30083

Parcel ID#: 18 091 03 006, 18 091 03 048

Acreage: 2.71 Commission District: 4, 7

Present Zoning District(s): R-75

Proposed Zoning District: R-60

Present Land Use Designation: SUB

Proposed Land Use Designation (if applicable): _____

REZONING APPLICATION CHECKLIST

Submit 4 printed, collated sets of the complete application (no staples, no binders) and a PDF version on a flash drive

_____ 1. Schedule a mandatory **Pre-Application Conference** with Planning & Sustainability staff by appointment. Obtain **Pre-Application form** (to be completed in pre-application meeting). Please call 404-371-2155 for appointment.

_____ 2. Hold a **Pre-Submittal Community Meeting** with surrounding neighborhood associations and residents. Provide documentation of the meeting (**meeting notice and sign in sheets**). Letter(s) from homeowners association(s) may also be provided.

_____ 3. Submit **Application** (Submit 4 printed, collated sets and a PDF version on a flash drive. Please assemble materials in the following order.)

_____ **A. Application form** with name and address of applicant and owner, and address of subject property;

_____ **B. Pre-submittal community meeting notice and sign-in sheet** and other documentation of meeting, if any;

_____ **C. Letter of application and impact analysis**

1. **Letter of application** identifying a) the proposed zoning classification, b) the reason for the rezoning or special use or modification request, c) the existing and proposed use of the property, d) detailed characteristics of the proposed use (e.g. floor area, height of building(s), number of units, mix of unit types, number of employees, manner and hours of operation), d)(optional) statement of conditions discussed with the neighborhood or community, if any.

2. **Impact analysis** of the anticipated impact of the proposed use and rezoning on the surrounding properties in response to the standards and factors specified in Article 7.3 of the DeKalb County Zoning Ordinance, as attached. If a Major Modification, please include previously approved conditions and Board of Commissioner meeting minutes.

_____ **D. Authorization Form**, if applicant is not the owner. Must be signed by all owners of the subject property and notarized. Authorization must contain the mailing address and phone number of any applicant or agent who is authorized to represent the owner(s) of the subject property. Please include warranty deed, if property ownership is less than 2 years.

_____ **E. Campaign disclosure statement** (required by State law).

_____ **F. Legal boundary survey** of the subject property, (showing boundaries, structures, and improvements), prepared and sealed within the last year by a professional engineer or land surveyor registered in the State of Georgia. *(If survey shows property on opposite sides of a public street right-of-way, file a separate application for each property.)*

_____ **G. Site Plan**, printed to scale, folded, of any existing and or proposed development/redevelopment. For projects larger than 1 acre, site plan should be at least 1:50 scale. The site plan must include the following:

_____ a. complete boundaries of subject property;

_____ b. dimensioned access points and vehicular circulation drives;

_____ c. location of all existing and proposed buildings, structures, setbacks and parking;

_____ d. location of 100 year floodplain and any streams;

_____ e. notation of the total acreage or square footage of the subject property;

_____ f. landscaping, tree removal and replacement, buffer(s); and

_____ g. site plan notes of building square footages, heights, density calculations, lot coverage of impervious surfaces, parking ratios, open space calculations, and other applicable district standards.

_____ **H. Reduced Site Plan**, reduced to 8.5" x 11".

_____ **I. Written Legal Description** of metes and bounds of the subject property (can be printed on site plan or survey).

_____ **J. Building Form Information**. Elevation (line drawing or rendering), or details of proposed materials, in compliance with Article 5 of the Zoning Ordinance.

_____ **K. Completed, signed Pre-application Form** (Provided at pre-application meeting.)

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

AMANIE SEIDA YESHAW	881 NEEDLE ROCK DR	STONE MOUNTAIN GA 30083
HOLMES JOHNNY L JR	851 ROCK GAP DR	STONE MOUNTAIN GA 30083
HILLMAN GARY H	862 NEEDLE ROCK DR	STONE MOUNTAIN GA 30083
BOLIA ALOK	5074 BRITTANY DR	STONE MOUNTAIN GA 30083
CRUZ RAUL CASTRO	882 CHURCHILL CT	STONE MOUNTAIN GA 30083
LEE VICKIE D	892 CHURCHILL CT	STONE MOUNTAIN GA 30083
WOLDEMARIAM TIGIST E	5007 CELTIC WAY	STONE MOUNTAIN GA 30083
MANOUS KENNETH	PO BOX 953	PINE LAKE GA 30072
EASTSIDE LAND CO INC	PO BOX 993	LITHONIA GA 30058
GANGADIN NANDRANIE	896 PARKSTONE DR	STONE MOUNTAIN GA 30083
MATTHEWS ROCKEL	4943 MOUNTAINSIDE TIL	STONE MOUNTAIN GA 30083
BULI KASSECH	4947 MOUNTAINSIDE TRL	STONE MOUNTAIN GA 30083
COMMUNITY REDEVELOPMENT LOAN A	229 PEACHTREE ST # 700	ATLANTA GA 30303
COMMUNITY REDEVELOPMENT LOAN A	235 PEACHTREE ST # 2000	ATLANTA GA 30303
JAILALL RISHI	948 MEADOW ROCK DR	STONE MOUNTAIN GA 30083
BICKEL VALARIE J	4992 MOUNTAIN SPRINGS WAY	STONE MOUNTAIN GA 30083
PETERS MONICA	2560 JOHNSON DR	DORAVILLE GA 30340
KAP LANG C	907 MEADOW ROCK DR	STONE MOUNTAIN GA 30083
WALTON AARON L	904 MEADOW ROCK DR	STONE MOUNTAIN GA 30083
BURGIN RONALD E	830 MOUNTAIN VIEW DR	STONE MOUNTAIN GA 30083
KAYJAY 3 PROPERTIES LLC	6555 SUGARLOAF PKWY STE 307 197	DULUTH GA 30097
MEEKS JAMES L EST PERS REP AND HEIRS	875 NEEDLE ROCK DR	STONE MOUNTAIN GA 30083
ALANTE FASEKA	843 ROCK GAP DR	STONE MOUNTAIN GA 30083
DJ PROPERTY GROUP INC	3810 PENTEL CT	DORAVILLE GA 30360
NEHSAHN PETER Z	858 NEEDLE ROCK DR	STONE MOUNTAIN GA 30083
LITZINGER DEBRA D	5068 BRITTANY DR	STONE MOUNTAIN GA 30083
NURU FETHYA	5078 BRITTANY DR	STONE MOUNTAIN GA 30083
RUCKER ANGELA M	878 CHURCHILL CT	STONE MOUNTAIN GA 30083
HOLMES ERNEST JR	888 CHURCHILL CT	STONE MOUNTAIN GA 30083
BEKALU DAWIT	5003 CELTIC WAY	STONE MOUNTAIN GA 30083
BEYENE MASTEWAL	4995 CELTIC WAY	STONE MOUNTAIN GA 30083
CERBERUS SFR HOLDINGS II LP	1850 PARKWAY PL STE 900	MARIETTA GA 30067
REAL PROPERTY MANAGEMENT GROUP INC	2408 MT VERNON RD STE 150	DUNWOODY GA 30338
SAUCIER CHARLES J	900 PARKSTONE DR	STONE MOUNTAIN GA 30083
SADSELIA MANOJ	240 FLOWERS COVE LN	LILBURN GA 30047
GHERGISH YORUSALEM T	4949 MOUNTAINSIDE TRL	STONE MOUNTAIN GA 30083
LANG COMMUNITIES LLC	4727 N ROYAL ATLANTA DR	TUCKER GA 30084
COMMUNITY REDEVELOPMENT LOAN A	229 PEACHTREE ST # 705	ATLANTA GA 30303
WEYESSA SAMUEL	954 MEADOW ROCK DR	STONE MOUNTAIN GA 30083
KEITH DENISE	4978 MOUNTAIN SPRINGS WAY	STONE MOUNTAIN GA 30083
PETERS MONICA	2560 JOHNSON DR	ATLANTA GA 30340
RUSK MARK H	901 MEADOW ROCK DR	STONE MOUNTAIN GA 30083
CVRK AZEM	898 MEADOW ROCK DR	STONE MOUNTAIN GA 30083
SFR XII ATL OWNER 3 LP	9200 HAMPTON DR	CAPITOL HEIGHTS MD 20743
FAIRCLOUGH CARLA A	862 CHURCHILL CT	STONE MOUNTAIN GA 30083
BASS FREDERICK A	872 CHURCHILL CT	STONE MOUNTAIN GA 30083
AMER REALTY LLC	2407 CASTLE FALLS LN	DULUTH GA 30097
CAMBRON SANCHEZ MARIELA	4991 CELTIC WAY	STONE MOUNTAIN GA 30083
GAGASI KALARO	839 CHURCHILL CT	STONE MOUNTAIN GA 30083
TOKUNAGA MIHO	4996 SAXONY CT	STONE MOUNTAIN GA 30083
SCHLUMBERGER ERNEST A	4993 SAXONY CT	STONE MOUNTAIN GA 30083
MEJICANO ANGELICA	4985 SAXONY CT	STONE MOUNTAIN GA 30083
TUJI ABDURO	850 MEADOW ROCK DR	STONE MOUNTAIN GA 30083
MINYARD JAMES LAMAR	1776 TRAPNELL DR	ATLANTA GA 30338

Community Meeting Mailing List 6/14/22

PHYALL GERTDELL	877 MEADOW ROCK DR	STONE MOUNTAIN GA 30083
SPINELLI KEVIN L	918 PARKSTONE DR	STONE MOUNTAIN GA 30083
MAMO GETAHUN	906 PARKSTONE DR	STONE MOUNTAIN GA 30083
R AND A COLLISION CENTERS LLC	7220 POLO HL	CUMMING GA 30040
CARTER DARRYL WAYNE	882 MOUNTAIN VIEW DR	STONE MOUNTAIN GA 30083
MBAS PROPERTIES LLC	225 GANTON CT	JOHNS CREEK GA 30097
COMMUNITY REDEVELOPMENT LOAN A	229 PEACHTREE ST STE 705	ATLANTA GA 30303
KANANY AMAL	2290 BEAVER RUIN RD	NORCROSS GA 30071
FRANCE KEN	5001 MEMORIAL DR	STONE MOUNTAIN GA 30083
LEVANTA LLC	13751 BREEDERS CUP DR	RANCHO CUCAMONGA CA 91739
GEORGE EDWARD L	892 MEADOW ROCK DR	STONE MOUNTAIN GA 30083
LOPEZ DEL CID SARA VICTORIA	880 MEADOW ROCK DR	STONE MOUNTAIN GA 30083
JONES JENNIFER NESTOR	862 SHEPPARD WAY	STONE MOUNTAIN GA 30083
PC STONE MOUNTAIN LLC	4956 N 300 W STE 300	PROVO UT 84604
PARKS LUTHER A	861 MEADOW ROCK WAY	STONE MOUNTAIN GA 30083
REYES MARGARITA	830 LELAND CT	STONE MOUNTAIN GA 30083
FLORENCE JOHNETTA DENISE	832 LELAND CT	STONE MOUNTAIN GA 30083
PSATL71 827 MOUNTAIN VIEW DR LLC	667 MADISON AVE FLOOR 20	NEW YORK NY 10065
MARS DOLLIE	858 CHURCHILL CT	STONE MOUNTAIN GA 30083
KESO BIRNADET K	887 CHURCHILL CT	STONE MOUNTAIN GA 30083
PEARCE KESHA A	869 CHURCHILL CT	STONE MOUNTAIN GA 30083
PFIN II F LLC	6300 POWERS FERRY RD STE 600 142	ATLANTA GA 30339
OFFERPAD SPV BORROWER 1 LLC	2150 E GERMANN RD STE 1	CHANDLER AZ 85286
MARTIN CHARMAINE	831 MOUNTAIN VIEW DR	STONE MOUNTAIN GA 30083
TEUTA ALVARO J	4175 RUE ANTOINETTE	STONE MOUNTAIN GA 30083
HANG KHEN THANG	865 MEADOW ROCK DR	STONE MOUNTAIN GA 30083
WAH YU YE HTWA	857 MEADOW ROCK DR	STONE MOUNTAIN GA 30083
ESOBAR JOSE M	868 MEADOW ROCK DR	STONE MOUNTAIN GA 30083
ASGHEDOM NETSANET S	4909 PINE HILL E CT	STONE MOUNTAIN GA 30088
ALVAREZ ODIR	6330 GLENBROOK DR	TUCKER GA 30084
SMITH LENISE WINTER	942 PARKSTONE DR	STONE MOUNTAIN GA 30083
ARIA AND TODD PROPERTIES LLC	6154 MEMORIAL DR	STONE MOUNTAIN GA 30083
SAPP REBECCA	6181 MEMORIAL DR	STONE MOUNTAIN GA 30083
GEORGIA EAST GATE LLC	3552 STRATH DR	ALPHARETTA GA 30005
KOLOMONYI FERDINAND MULOTE	4978 VILLAGER LN	STONE MOUNTAIN GA 30083
MAHOMES BROWN JUANITA	4976 VILLAGER LN	STONE MOUNTAIN GA 30083
GELAW AKLILU H	4950 VILLAGER LN	STONE MOUNTAIN GA 30083
ABDURAHAMAN ENQUAYEHU	4948 VILLAGER LN	STONE MOUNTAIN GA 30083
RAFE KAMALUDDIN BIN	904 MEADOW ROCK WAY	STONE MOUNTAIN GA 30083
VARA HENRY	611 SHARON DR	JOHNSON CITY TN 37604
WOODS RENALDO	725 WINDEMERE OAK WAY NW	LILBURN GA 30047
PATH ACQUISITIONS TRS LLC	2325 POINTE PKWY STE 250	CARMEL IN 46032
AMARAM PATRICK U	947 MEADOW ROCK DR	STONE MOUNTAIN GA 30083
PATTON NOAH DURAN	939 MEADOW ROCK DR	STONE MOUNTAIN GA 30083
BUREY FAMILY LIVING TRUST THE	187 SE OSPREY RDG	PORT ST LUCIE FL 34984
JOHNSON COLLIN M	855 NEEDLE ROCK DR	STONE MOUNTAIN GA 30083
AHMED SALAADO MOHAMED	842 ROCK GAP DR	STONE MOUNTAIN GA 30083
TRINTEC PORTFOLIO SERVICES LLC	17 EXECUTIVE PARK DR STE 480	ATLANTA GA 30329
SFR XII ATL OWNER 6 LP	9200 E HAMPTON DR	CAPITOL HEIGHTS MD 20743
VALASQUEZ FRANCISCO R	896 CHURCHILL CT	STONE MOUNTAIN GA 30083
IRN INVESTMENTS LLC	2530 GRACE FARM WAY	MARIETTA GA 30062
HAMILTON JOAN FRANCES	4990 SAXONY CT	STONE MOUNTAIN GA 30083
ALEXANDER SHEILA	4989 SAXONY CT	STONE MOUNTAIN GA 30083
TAYLOR DANNY	838 CHURCHILL CT	STONE MOUNTAIN GA 30083

SFR XII ATL OWNER 4 LP	4645 HAWTHORNE LN	WASHINGTON DC 20016
WILLIAMS VIRGINIA A	3096 JUHAN RD	STONE MOUNTAIN GA 30087
SG REAL PROPERTY MANAGEMENT	2091 HAVENVIEW CT	SNELLVILLE GA 30078
VINCENT HAZEL	4984 VILLAGER LN	STONE MOUNTAIN GA 30083
SHAH RAKESH	2091 HAVENVIEW CT	SNELLVILLE GA 30078
EL AMAR ENGINEERING AND	455 SAILMAKER CIR	ALPHARETTA GA 30022
FOSTER COLUMBUS	936 MEADOW ROCK DR	STONE MOUNTAIN GA 30083
MOUZON WALLACE	1292 GREENRIDGE TRL	LITHONIA GA 30058
FRACTIONAL CACTUSFLOWER LLC	4993 MOUNTAIN SPRINGS WAY	STONE MOUNTAIN GA 30083
PERISIC MLADEN	919 MEADOW ROCK DR	STONE MOUNTAIN GA 30083
ARAUJO CAMILO	886 MEADOW ROCK DR	STONE MOUNTAIN GA 30083
MARTINEZ SALGADO SUZY	872 MOUNTAIN VIEW DR	STONE MOUNTAIN GA 30083
GRIFFITH LEONARD	822 MOUNTAIN VIEW DR	STONE MOUNTAIN GA 30083
RODRIGUEZ JULIO	869 NEEDLE ROCK DR	STONE MOUNTAIN GA 30083
HTL REALTY LLC	1096 GARNER CREEK DR SW	LILBURN GA 30047
BROWN TAWANDA	1740 BIRKSHIRE RDG	MCDONOUGH GA 30252
SAMUELS JUDITH ANN	866 CHURCHILL CT	STONE MOUNTAIN GA 30083
AMERICAN EQUITY FINANCIAL LLC	333 SANDY SPRINGS CIR NE STE 226	ATLANTA GA 30328
BENNETT FAMILY TRUST	855 LAGUNA DR	FERNANDINA BEACH FL 32034
YOUNG SUNNSHYNE	5698 GEORGE RD	LITHONIA GA 30058
STVIL GERALD	830 CHURCHILL CT	STONE MOUNTAIN GA 30083
KUHLHORST DEBORAH	5960 CROOKED CREEK RD STE 120	PEACHTREE CORNERS GA 30092
SPRUELL DORIAN M	912 PARKSTONE DR	STONE MOUNTAIN GA 30083
RAFI SAID HAROON	892 MOUNTAIN VIEW DR	STONE MOUNTAIN GA 30083
NELSON LAWRENCE	4727 N ROYAL ATLANTA DR STE G	TUCKER GA 30084
SULEIMAN ABDULAFIZ	4951 MOUNTAINSIDE TRL	STONE MOUNTAIN GA 30083
COMMUNITY REDEVELOPMENT LOAN A	235 PEACHTREE ST # 705	ATLANTA GA 30303
WILLACEY ALLAN	924 MEADOW ROCK DR	STONE MOUNTAIN GA 30083
JAMES MAXFORD	843 NEEDLE ROCK DR	STONE MOUNTAIN GA 30083
MOUNTAIN WAY 5009 LLC	1706 WILMONT DR NE	ATLANTA GA 30329
RIVAS JOSE	931 MEADOW ROCK DR	STONE MOUNTAIN GA 30083
PULAMI BAL B	885 MEADOW ROCK WAY	STONE MOUNTAIN GA 30083
SCOTT SHARON C	848 MOUNTAIN VIEW DR	STONE MOUNTAIN GA 30083
SYROS VI DELAWARE LLC	4247 BUFORD DR	BUFORD GA 30518
CHAMORRO LOURDES E	863 NEEDLE ROCK DR	STONE MOUNTAIN GA 30083
FKH SFR PROPCO I LP	1850 PARKWAY PL STE 9600	MARIETTA GA 30067
PRICE TED	2032 GUNSTOCK DR	STONE MOUNTAIN GA 30087
BIE THA	850 ROCK GAP DR	STONE MOUNTAIN GA 30083
JUDAH NATHAN	822 LELAND CT	STONE MOUNTAIN GA 30083
NEW RESIDENTIAL BORROWER 2022 SFR1 LLC	2350 POINTE PKWY STE 250	CARMEL IN 46032
WILSON SHARON F	PO BOX 150	STONE MOUNTAIN GA 30086
ARVM 5 LLC	5001 PLAZA ON THE LK STE 200	AUSTIN TX 78746
MATA FUENTES MIRIAM E	893 CHURCHILL CT	STONE MOUNTAIN GA 30083
TURENNE CLAUDY	4696 CENTRAL DR # 3275	STONE MOUNTAIN GA 30083
WOLDEHANA ABEBAW	5009 CELTIC WAY	STONE MOUNTAIN GA 30083
NURYA HUSSEIN	834 CHURCHILL CT	STONE MOUNTAIN GA 30083
MCKEE RICO J	4972 BALTIC CT	STONE MOUNTAIN GA 30083
BELL LISA	4986 VILLAGER LN	STONE MOUNTAIN GA 30083
GOLAKIYA SURESH	310 MARY LN	CANONSBURG PA 15317
UMA REALTY LLC	240 FLOWER COVE LN	LILBURN GA 30047
NIGUSSIE TAYECH	4940 MOUNTAINSIDE TRL	STONE MOUNTAIN GA 30083
GENEVA HAYES HAWKINS REVO	942 MEADOW ROCK DR	STONE MOUNTAIN GA 30083
KRISKOVIC GORAN	930 MEADOW ROCK DR	STONE MOUNTAIN GA 30083
ZIENTOWSKI JOHN H	916 MEADOW ROCK DR	STONE MOUNTAIN GA 30083

Community Meeting Mailing List 6/14/22

TEASLEY WILLIAM K JR
MUNGUIA JOSE DEL CID
NANCE TODD
IVANISEVIC STEVO
RAFI SAID H
MOGARDO STEPHANIE
BALTO BUILDING LLC
MCCULLEY MARY M
GASTON ROSALIND
SNYDER ANDRE
RESICAP GEORGIA OWNER LLC
MARTIN MAXINE R
AKPALU YAWO NYONYO
FYR SFR BORROWER LLC
RYANS MARGARET ETTA
COHEN AARON
BAKARI HANA
OMONDI MICHAEL
WORTHY BRENDA G
IRIE MOISE
FIREW ETHIOPIS M
GEBREHIWOT KIDANE A
ADAMNEW MENGISTU
STAR 2021 SFR1 LP
STANLEY DESMOND
PELT SCOT VAN
KULBIR AND SONS INC
BURTON MANLEY R

2425 SAWTOOTH OAK DR
864 MEADOW ROCK WAY
165 TIPPORARY RD
913 MEADOW ROCK DR
345 HIGH HARDIN WAY
824 LELAND CT
4947 WYCLIFFE DR
1414 INDEPENDENCE WAY
850 CHURCHILL CT
4990 CELTIC WAY
3953 MAPLE AVE STE 300
4998 SAXONY CT
4997 SAXONY CT
3505 KOGER BLVD STE 400
839 MOUNTAIN VIEW DR
4012 PENHURST DR
4969 MOUNTAIN VALLEY RD
936 PARKSTONE DR
5743 PATTILLO WAY
4980 VILLAGER LN
4974 VILLAGER LN
3205 MINERAL RIDGE CT
4952 VILLAGER LN
591 PUTNUM AVE
890 MEADOW ROCK WAY
PO BOX 326
6201 MEMORIAL DR
3840 KENSINGTON RD

LAWRENCEVILLE GA 30043
STONE MOUNTAIN GA 30083
ATHENS GA 30606
STONE MTN GA 30083
LAWRENCEVILLE GA 30043
STONE MOUNTAIN GA 30083
STONE MOUNTAIN GA 30087
MARIETTA GA 30062
STONE MOUNTAIN GA 30083
STONE MOUNTAIN GA 30083
DALLAS TX 75219
STONE MOUNTAIN GA 30083
STONE MOUNTAIN GA 30083
DULUTH GA 30096
STONE MOUNTAIN GA 30083
MARIETTA GA 30062
STONE MOUNTAIN GA 30088
STONE MOUNTAIN GA 30083
LITHONIA GA 30058
STONE MOUNTAIN GA 30083
STONE MOUNTAIN GA 30083
STONE MOUNTAIN GA 30087
STONE MOUNTAIN GA 30083
GREENWICH CT 6830
STONE MOUNTAIN GA 30083
CLARKSTON GA 30021
STONE MOUNTAIN GA 30083
DECATUR GA 30032



Battle Law

3562 Habersham at Northlake, Bldg. J, Ste 100
Tucker, Georgia 30084

Zoom Instructions:

Go to <https://www.battlelawpc.com> . On the Home page, please click on “Projects”, then choose “DeKalb County”. Scroll down to the correct “Project Title” and click on “Join Meeting” under the correct meeting date. To join by phone, please dial (646) 558-8656 and enter the Meeting ID and Passcode provided on the website.

We encourage you to come out and participate!

*****Please Note: This meeting is hosted solely by Battle Law, P.C.*****

For More Information Contact
Brittney Butler at:
Phone: 404-601-7616 ext. 7
Fax: 404-745-0045
Email: btb@battlelawpc.com

REZONING TO ALLOW FOR THE DEVELOPMENT OF SINGLE-FAMILY DETACHED HOMES

You are invited to a Zoom meeting.

Project Title: Mountain View Drive

When: Tuesday, June 14, 2022

Time: 6:00 PM Eastern (US and Canada)

Register in advance for this meeting:

<https://www.battlelawpc.com>



PROPOSED LOCATION(S):

**883, 875 Mountain View Drive
Stone Mountain, Georgia 30083
Parcel Numbers 18 091 03 006,
18 091 03 048**



Battle Law

3562 Habersham at Northlake, Bldg. J, Ste 100
Tucker, Georgia 30084

PLEASE
PLACE
STAMP
HERE

«Name»

«Address»

«City», «State» «Zip»

Community Meeting Sign-In Sheet 6/14/22

First Name	Last Name	Email	Registration Time	Approval Status
ARGARITA	STEWART	a22stewart@att.net	5/6/2022 9:07	approved
Joe	Arrington	jarring55@gmail.com	5/6/2022 15:37	approved
Matt	Leatherman	grammymix@gmail.com	5/9/2022 6:49	approved
B	Smith	bens18@yahoo.com	6/4/2022 12:17	approved
Victoria	Webb	vic@furiousdreams.com	6/14/2022 9:44	approved
Roslyn	McCaskill	Allisongroup40@gmail.com	6/14/2022 10:45	approved
Jan	Dunaway	dunawayjd@bellsouth.net	6/14/2022 17:52	approved
Tyler	McSwain	t1m@battlelawpc.com	6/14/2022 17:53	approved

DEPARTMENT OF PLANNING & SUSTAINABILITY

IMPACT ANALYSIS

(Please respond to the following standards and factors on a separate sheet.)

Section 27-7.3.5. The following standards and factors are found to be relevant to the exercise of the county's zoning powers and shall govern the review of all proposed amendments to the Official Zoning Map:

- A. Whether the zoning proposal is in conformity with the policy and intent of the Comprehensive Plan.
- B. Whether the zoning proposal will permit a use that is suitable in view of the use and development of adjacent and nearby properties.
- C. Whether the property to be affected by the zoning proposal has a reasonable economic use as currently zoned.
- D. Whether the zoning proposal will adversely affect the existing use or usability of adjacent or nearby properties.
- E. Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the zoning proposal.
- F. Whether the zoning proposal will adversely affect historic building, sites, districts, or archaeological resources.
- G. Whether the zoning proposal will result in a use which will or could cause excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.
- H. Whether the zoning proposal adversely impacts the environment or surrounding natural resources.



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STATEMENT OF INTENT

and

Other Material Required by
DeKalb County Zoning Ordinance
For
A Rezoning from R-75
To R-60

of

EL-AMAR ENGINEERING AND CONSTRUCTION, INC.
c/o Battle Law, P.C.

for

+/-2.71 Acres of Land
Being 883 and 875 Mountain View Drive,
Stone Mountain, GA.
and
Parcel Nos. 18 091 03 006, and 18 091 03 048

Submitted for Applicant by:

Michèle L. Battle, Esq.
Battle Law, P.C.
Habersham at Northlake, Building J, Suite 100
Tucker, Georgia 300384
(404) 601-7616 Phone
(404) 745-0045 Facsimile
mlb@battlelawpc.com



Battle Law

I. LETTER OF INTENT

El-Amar Engineering and Construction, Inc. (the “Applicant”) is seeking to develop on +/- 2.71 acres of land being Tax Parcel No. 18 091 03 006, and 18 091 03 048 having frontage on 883 and 875 Mountain View Drive, Stone Mountain, GA. (the “Subject Property”) with single-family detached homes. The Applicant is seeking a Rezoning of the Subject Property from R-75 to R-60

This document serves as a statement of intent, analysis of the criteria under the DeKalb County Zoning Ordinance, and contains notice of constitutional allegations as a reservation of the Applicant’s rights.

II. REZONING CRITERIA

Whether the zoning proposal is in conformity with the policy and intent of the Comprehensive Plan;

The zoning proposal is in conformity with the policy and intent of the Comprehensive Plan. The Subject Property has a future land use designation of Suburban, which permits the R-60 zoning district. Additionally, the Suburban future land use designation allows up to a base of four (4) dwelling units per acre. The zoning proposal requests less than four (4) units per acre. Therefore, the zoning proposal is in conformity with the policy and intent of the Comprehensive Plan.

Whether the zoning proposal will permit a use that is suitable in view of the use and development of adjacent and nearby properties;

The zoning proposal will permit a use that is suitable in view of the use and development of adjacent and nearby properties. The adjacent properties are all residential. The zoning proposal simply seeks to continue that residential use. Therefore, the zoning proposal will permit a use that is suitable in view of the use and development of adjacent and nearby properties.

Whether the property to be affected by the zoning proposal has a reasonable economic use as currently zoned;

The property to be affected by the zoning proposal does have a reasonable economic use as currently zoned. The Subject Property is currently zoned R-75, which would allow for single-family detached homes. While this is a reasonable economic use, the R-60 zoning district is more in line with the RSM zoning that abuts the Subject Property to the North. Therefore, while the property to be affected by the zoning proposal does have a reasonable economic use as currently zoned, the R-60 zoning designation provide for a better use.



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Whether the zoning proposal will adversely affect the existing use or usability of adjacent or nearby properties;

The zoning proposal will not adversely affect the existing use or usability of adjacent or nearby properties. The zoning proposal will simply introduce more residential use to an area that already has residential use. Furthermore, the Applicant will plant trees to screen the use from abutting neighbors. Lastly, the zoning proposal only request ten (10) new homes. So, any impact on the surrounding properties will be minimal. Therefore, the zoning proposal will not adversely affect the existing use or usability of adjacent or nearby properties.

Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the zoning proposal;

The Applicant is not aware of any existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the zoning proposal.

Whether the zoning proposal will adversely affect historic building, sites, districts, or archaeological resources;

The zoning proposal will not adversely affect historic buildings, sites, districts, or archaeological resources. The Subject Property does not lie in a historic overlay district, nor is it near any historic buildings, sits, or archaeological resources. Therefore, the zoning proposal will not adversely affect historic buildings, sites, districts, or archaeological resources.

Whether the zoning proposal will result in a use which will or could cause excessive or burdensome use of existing streets, transportation facilities, utilities, or schools; and

The zoning proposal will not result in a use which will or could cause excessive or burdensome use of existing streets, transportation facilities, utilities, or schools. The zoning proposal requests ten (10) new homes with a new street that will come off of Mountain View Drive. The amount of traffic that could be generated by this development is minimal. The projected number of students to be generated by this proposal is also minimal. Lastly, there is sufficient water and sewer in the area to support this development. Therefore, the zoning proposal will not result in a use which will or could cause excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.

Whether the zoning proposal adversely impacts the environment or surrounding natural resources.

The zoning proposal will not adversely impact the environment or surrounding natural resources. The Subject Property is not near any sensitive environmental assets. Some trees will have to be cleared for the development, but as many trees will be saved or replanted as possible. Therefore, the zoning proposal will not adversely impact the environment or surrounding natural resources.



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III. CONCLUSION

For the foregoing reasons, the Applicant hereby requests that the application for a Rezoning from R-75 to R-60 be approved. The Applicant welcomes any questions and feedback from the planning staff.

IV. NOTICE OF CONSTITUTIONAL ALLEGATIONS AND PRESERVATION OF CONSTITUTIONAL RIGHTS

The portions of the DeKalb County Zoning Ordinance, facially and as applied to the Subject Property, which restrict or classify or may restrict or classify the Subject Property so as to prohibit its development as proposed by the Applicant are or would be unconstitutional in that they would destroy the Applicant's property rights without first paying fair, adequate and just compensation for such rights, in violation of the Fifth Amendment and Fourteenth Amendment of the Constitution of the United States and Article I, Section I, Paragraph I of the Constitution of the State of Georgia of 1983, Article I, Section III, Paragraph I of the Constitution of the State of Georgia of 1983, and would be in violation of the Commerce Clause, Article I, Section 8, Clause 3 of the Constitution of the United States.

The application of the DeKalb County Zoning Ordinance to the Subject Property which restricts its use to any classification other than that proposed by the Applicant is unconstitutional, illegal, null and void, constituting a taking of Applicant's Property in violation of the Just Compensation Clause of the Fifth Amendment to the Constitution of the United States, Article I, Section I, Paragraph I, and Article I, Section III, Paragraph I of the Constitution of the State of Georgia of 1983, and the Equal Protection and Due Process Clauses of the Fourteenth Amendment to the Constitution of the United States denying the Applicant an economically viable use of its land while not substantially advancing legitimate state interests.

A denial of this Application would constitute an arbitrary irrational abuse of discretion and unreasonable use of the zoning power because they bear no substantial relationship to the public health, safety, morality or general welfare of the public and substantially harm the Applicant in violation of the due process and equal protection rights guaranteed by the Fifth Amendment and Fourteenth Amendment of the Constitution of the United States, and Article I, Section I, Paragraph I and Article I, Section III, Paragraph 1 of the Constitution of the State of Georgia.

A refusal by the DeKalb County Board of Commissioners to amend the land use and/or rezone the Subject Property to the classification as requested by the Applicant would be unconstitutional and discriminate in an arbitrary, capricious and unreasonable manner between the Applicant and owners of similarly situated property in violation of Article I, Section I, Paragraph II of the



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Constitution of the State of Georgia of 1983 and the Equal Protection Clause of the Fourteenth Amendment to the Constitution of the United States. Any REZONING of the Property subject to conditions which are different from the conditions requested by the Applicant, to the extent such different conditions would have the effect of further restricting Applicant's utilization of the property, would also constitute an arbitrary, capricious and discriminatory act in zoning the Subject Property to an unconstitutional classification and would likewise violate each of the provisions of the State and Federal Constitutions set forth hereinabove.

A refusal to allow the land use amendment and/or Rezoning in questions would be unjustified from a fact-based standpoint and instead would result only from constituent opposition, which would be an unlawful delegation of authority in violation of Article IX, Section II, Paragraph IV of the Georgia Constitution.

A refusal to allow the land use amendment and/or Rezoning in question would be invalid inasmuch as it would be denied pursuant to an ordinance which is not in compliance with the Zoning Procedures Law, O.C.G.A Section 36-66/1 et seq., due to the manner in which the Ordinance as a whole and its map(s) have been adopted.

The existing land use designation and/or zoning classification on the Subject Property is unconstitutional as it applies to the Subject Property. This notice is being given to comply with the provisions of O.C.G.A. Section 36-11-1 to afford the County an opportunity to revise the Property to a constitutional classification. If action is not taken by the County to rectify this unconstitutional land use designation and/or zoning classification within a reasonable time, the Applicant is hereby placing the County on notice that it may elect to file a claim in the Superior Court of Fulton County demanding just and adequate compensation under Georgia law for the taking of the Subject Property, diminution of value of the Subject Property, attorney's fees and other damages arising out of the unlawful deprivation of the Applicant's property rights.

Michele L. Battle, Esq.
Attorney for the Applicant



404.371.2155 (o)
404.371.4556 (f)
DeKalbCountyGa.gov

Clark Harrison Building
330 W. Ponce de Leon Ave
Decatur, GA 30030

DEPARTMENT OF PLANNING & SUSTAINABILITY

AUTHORIZATION

The property owner should complete this form or a similar signed and notarized form if the individual who will file the application with the County is not the property owner.

Date: 4/28/2022

TO WHOM IT MAY CONCERN:

(I) (WE) El Amar Engineering and Construction, Inc.
Name of owner(s)

being (owner) (owners) of the subject property described below or attached hereby delegate authority to

Battle Law, P.C.
Name of Agent or Representative

to file an application on (my) (our) behalf.

SENAYDA CIOMARA SCHELLENGER
NOTARY PUBLIC
FORSYTH COUNTY, GEORGIA
My Comm. Expires March 22, 2025

Notary Public

El Amar Engineering and Construction, Inc.
By: Mohamed Mahmoud Mansour Elsaid

Owner

Notary Public

Owner

Notary Public

Owner

Notary Public

Owner

O'KELLEY & SOROHAN
ATTORNEYS AT LAW, LLC
2400 LAKEVIEW PKWY STE 100
ALPHARETTA, GEORGIA 30009

2021158799 DEED BOOK 29747 Pg 504
Filed and Recorded: 9/23/2021 2:51:00 PM
Recording Fee: \$25.00
Prepared By:
8274269752
7067927936

PREPARED BY:
The Law Office of Edward J. Krug, Esquire
300 Corporate Center Drive, Ste. 130
Moon Township, PA 15108
GA # 547703

02-179669-2FC7
Return to:

Mortgage Connect, LP.
260 Airside Drive
Moon Township, PA 15108
Order # 949760
Parcel ID #: 18 091 03 006

*Re-recording to include missing
additional legal description from the
Exhibit A that is attached.
Ref. bk 29569 pg 550

SPECIAL WARRANTY DEED

STATE OF GEORGIA
COUNTY OF DEKALB

THIS INDENTURE, made the 14th day of JULY, 2021, between
U.S. BANK NATIONAL ASSOCIATION, NOT IN ITS INDIVIDUAL CAPACITY BUT
SOLELY AS TRUSTEE FOR THE RMAC TRUST, SERIES 2016-CTT, as party or parties of
the first part, hereinafter called Grantor(s), and EL-AMAR ENGINEERING &
CONSTRUCTION, INC., as party or parties of the second part, hereinafter called Grantee(s).
(the words "Grantor" and "Grantee" shall include their respective heirs, successors, and assigns
where the context requires or permits, and shall include the singular and plural, and the
masculine, feminine, and neuter, as the context requires.)

WITNESSETH: That the said Grantor for and in consideration of the sum of ONE HUNDRED
FORTY FIVE THOUSAND and 00/100 (\$145,000.00), cash in hand paid by Grantee at and before
the sealing and delivery of these presents, the receipt of which is hereby acknowledged, has granted,
bargained, sold, aliened, conveyed, and confirmed, and by these presents does grant, bargain, sell,
alien, convey and confirm unto the Grantee, his or her successors and assigns, the following described
property.

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected,
situated in the County of DeKalb, and state of Georgia, being more particularly described as:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

FIRST PARCEL:

BEING the same premises which RAFAEL BERTARIONI, ACTING BY AND THROUGH U.S.

BANK NATIONAL ASSOCIATION, NOT IN ITS INDIVIDUAL CAPACITY SOLELY AS TRUSTEE FOR THE RMAC TRUST, SERIES 2016-CTT, in deed dated February 6, 2018 and recorded April 6, 2018 in the DeKalb County Recorder's Office in Deed Book Volume 26841, Page 754, granted and conveyed to **U.S. BANK NATIONAL ASSOCIATION, NOT IN ITS INDIVIDUAL CAPACITY BUT SOLELY AS TRUSTEE FOR THE RMAC TRUST, SERIES 2016-CTT**, the Grantor herein.

SECOND PARCEL:

BEING the same premises which **HELEN SUSAN BLEDSOE** by deed dated February 24, 2021 and recorded May 20, 2021 at Deed Book Volume 29389, Page 250, granted and conveyed unto **U.S. BANK NATIONAL ASSOCIATION, NOT IN ITS INDIVIDUAL CAPACITY BUT SOLELY AS TRUSTEE FOR THE RMAC TRUST, SERIES 2016-CTT**, the Grantor herein.

ALSO: By deed from **STEPHEN JOHN MIHALAK, JR.** dated March 22, 2021 and recorded May 20, 2021 in Deed Book Volume 29389, Page 102 conveyed to **U.S. BANK NATIONAL ASSOCIATION, NOT IN ITS INDIVIDUAL CAPACITY BUT SOLELY AS TRUSTEE FOR THE RMAC TRUST, SERIES 2016-CTT**, the Grantor herein.

ALSO: By deed from **EDWARD MIHALAK** dated February 25, 2021 and recorded May 20, 2021 in Deed Book Volume 29389, Page 184 conveyed to **U.S. BANK NATIONAL ASSOCIATION, NOT IN ITS INDIVIDUAL CAPACITY BUT SOLELY AS TRUSTEE FOR THE RMAC TRUST, SERIES 2016-CTT**, the Grantor herein.

SUBJECT TO: all covenants, conditions, reservation, limitations, easements and restriction or agreements of record, if any, and to all applicable zoning ordinances and/or governmental restrictions, if any, affecting the same.

TOGETHER WITH all right, members, and appurtenances to the said described Property in anywise appertaining or belonging.

TO HAVE AND TO HOLD the said property hereinabove described, together with all and singular the rights, members and appurtenances thereunto appertaining to the only proper use, benefit and behoof of the said Grantee, his or her successors and assigns, in FEE SIMPLE; and the said Grantor specially warrants the title to the said bargained property above described against the lawful claims of all persons claiming by, through and under the grantor.

IN WITNESS WHEREOF, the Grantor has signed, sealed and executed this deed, the day and year above written.

U.S. BANK NATIONAL ASSOCIATION, NOT IN ITS INDIVIDUAL CAPACITY BUT SOLELY AS TRUSTEE FOR THE RMAC TRUST, SERIES 2016-CTT

BY: RUSHMORE LOAN MANAGEMENT SERVICES, LLC AS ATTORNEY IN FACT

By: [Signature]

Print Name: Alexander Peters

Title: Assistant Vice President
7600478681

Signed, sealed and delivered in the presence of:

[Signature]
Unofficial Witness Signature

Herman E. Wright II
Printed name of Unofficial Witness

[Signature]
Notary Public

My commission expires:
(Notary Seal)

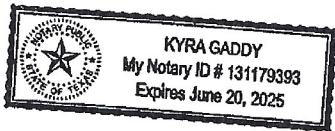


Exhibit "A"

FIRST PARCEL: ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 91 OF THE 18TH DISTRICT AND DESCRIBED AS FOLLOWS:

BEGINNING AT AN IRON PIN ON THE EAST DIE OF MOUNTAIN VIEW DRIVE (F/K/A MILLER RD.) SAID PIN BEING LOCATED 110 FEET NORTHERLY OF THE POINT WHERE THE EAST SIDE OF SAID MOUNTAIN VIEW DR. (F/K/A MILLER RD.) INTERSECTS THE NORTH LINE OF LAND LOT 72 AND RUNNING THENCE NORTHERLY ALONG TE EAST SIDE OF MOUNTAIN VIEW DRIVE (F/K/A MILLER RD.) SIXTY-FIVE (65) FEET TO AN IRON PIN; THENCE EAST SIX HUNDRED EIGHTY (680) FEET TO AN IRON PIN; THENCE SOUTH ONE HUNDRED SEVENTY FIVE (175) FEET; THENCE WESTERLY FOUR HUNDRED EIGHTY-NINE (489) FEET TO AN IRON PIN; THENCE NORTH ONE HUNDRED TEN (110) FEET THENCE WESTERLY TWO HUNDRED (200) FEET TO THE EAST SIDE OF MOUNTAIN VIEW DRIVE (F/K/A MILLER RD.) AND THIS POINT OF BEGINNING.

LESS AND EXCEPT PROPERTY DEEDED TO DEKALB COUNTY FOR WIDENING THE RIGHT-OF-WAY OF MOUNTAIN VIEW DR. FILED 10/5/1966, AT BOOK 2139 PAGE 463, DEKALB COUNTY, GEORGIA RECORDS.

Parcel ID: 18-091-03-006

SECOND PARCEL: All that tract or parcel of land lying and being in Land Lot 91 of the 18th District of DeKalb County, Georgia and more particularly described as follows:

BEGINNING at a point on the east side of Miller Road, one hundred (100) feet from an iron pin located on the east side of Miller Road where the north line of Land Lot 72 intersects the east side of Miller Road, and running thence northwesterly and parallel with the east side of Miller Road ten (10) feet; thence easterly two hundred (200) feet; thence south ten (10) feet; thence westerly (200) feet to the east side of Miller Road and the point of beginning.

TOGETHER WITH:

All that tract or parcel of land lying and being in Land Lot 91 of the 18th District of DeKalb County, Georgia and more particularly described as follows:

BEGINNING at a point on the east side of Miller Road where the north line of Land Lot 72 intersects the south side of Miller Road, and running thence northwesterly and parallel with the east side of Miller Road one hundred (100) feet to an iron pin; thence easterly two hundred (200) feet to an iron pin; thence south on hundred (100) feet to an iron pin on the north line of Land Lot 72; thence westerly along the north line of Land Lot 72 two hundred (200) feet to the east side of Miller Road and the point of beginning.

Parcel ID: 18-091-03-048



404.371.2155 (o)
404.371.4556 (f)
DeKalbCountyGa.gov

Clark Harrison Building
330 W. Ponce de Leon Ave
Decatur, GA 30030

DEPARTMENT OF PLANNING & SUSTAINABILITY

DISCLOSURE OF CAMPAIGN CONTRIBUTION

In accordance with the Conflict of Interest in Zoning Act, OCGA Chapter 36-67A, the following questions must be answered.

Have you, the applicant, made \$250.00 or more in campaign contribution to a local government official within two years immediately preceding the filling of this application?

Yes _____ No *

If the answer is yes, you must file a disclosure report with the governing authority of DeKalb County showing:

1. The name and official position of the local government official to whom the campaign contribution was made.
2. The dollar amount and description of each campaign contribution made during the two years immediately preceding the filing of this application and the date of each such contribution.

The disclosure must be filed within 10 days after the application is first filed and must be submitted to the C.E.O. and to the Board of Commissioners of DeKalb County, 1300 Commerce Drive, Decatur, GA 30030.

SENAYDA CIOMARA SCHELLENGER
NOTARY PUBLIC
FORSYTH COUNTY, GEORGIA
My Comm. Expires March 22, 2025



Notary

El Amar Engineering and Construction, Inc.
By: Mohamed Mahmoud Mansour Elsaid



Signature of Applicant /Date

Check one: Owner Agent _____

Expiration Date/ Seal

*Notary seal not needed if answer is "no".

DEPARTMENT OF PLANNING & SUSTAINABILITY

DISCLOSURE OF CAMPAIGN CONTRIBUTION

In accordance with the Conflict of Interest in Zoning Act, OCGA Chapter 36-67A, the following questions must be answered.

Have you, the applicant, made \$250.00 or more in campaign contribution to a local government official within two years immediately preceding the filling of this application?

Yes No *

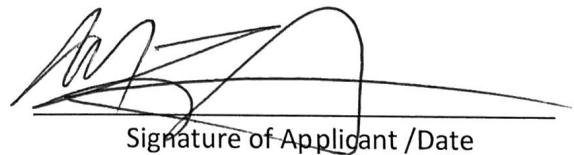
If the answer is yes, you must file a disclosure report with the governing authority of DeKalb County showing:

1. The name and official position of the local government official to whom the campaign contribution was made.
2. The dollar amount and description of each campaign contribution made during the two years immediately preceding the filing of this application and the date of each such contribution.

The disclosure must be filed within 10 days after the application is first filed and must be submitted to the C.E.O. and to the Board of Commissioners of DeKalb County, 1300 Commerce Drive, Decatur, GA 30030.


Notary




Signature of Applicant /Date

Check one: Owner _____ Agent

08/18/25
Expiration Date/ Seal

*Notary seal not needed if answer is "no".

Campaign Contribution Disclosure Statements
Last Updated 6/17/2022

CAMPAIGN CONTRIBUTIONS DISCLOSURE STATEMENT

Pursuant to the provisions of 36 O.C.G.A. 67(A), please find below a list of those contributions made by Michèle L Battle or Battle Law, P.C. in the past two years, aggregating \$250.00 or more, to local government officials who will consider this application.

NAME OF GOV'T OFFICIAL	OFFICIAL POSITION	AMOUNT OF CONTRIBUTION
Ted Terry	Commissioner	\$500
Mereda Davis Johnson	Commissioner	\$250
Lorraine Cochran-Johnson	Commissioner	\$750

By: 
Printed Name: Michele L. Battle

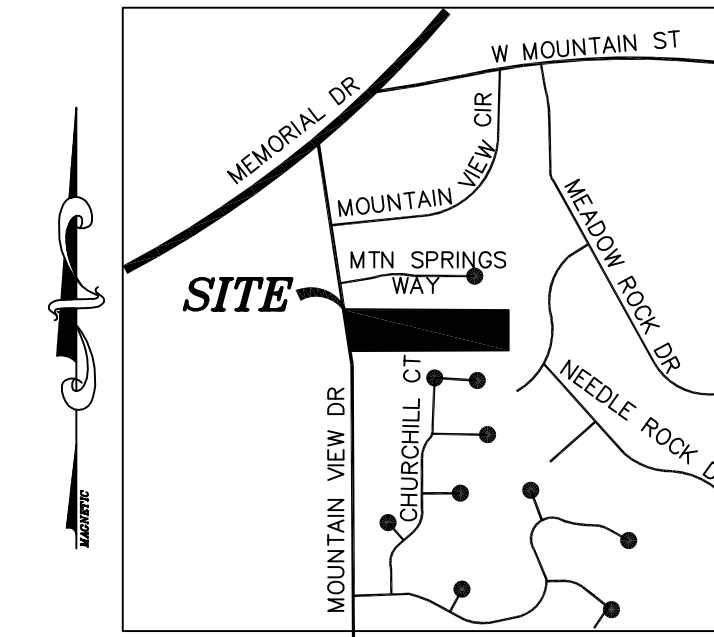
CURRENT ZONING: R-75	REGULATION SEC. 27-186
FRONT SETBACK= 30'	
SIDE SETBACK= 7.5'	
MAJOR SIDE SETBACK= N/A	
REAR SETBACK= 40'	
MINIMUM LOT SIZE: 10,000 sq.ft.	
MINIMUM FRONTAGE: 75 ft.	
MAXIMUM LOT COVERAGE=35%	
MAXIMUM FLOOR AREA RATIO (FAR) 1600 sq.ft.	

EL-AMAR ENGINEERING & CONSTRUCTION, INC.

LOT COMBINATION PLAT FOR:
875 & 883 MOUNTAIN VIEW DRIVE
LAND LOT 91
18th DISTRICT
DEKALB COUNTY, GEORGIA
EXISTING ZONING: R-75

TOTAL AREA:
118,122 SQ FT
2.71 ACRES

OWNER/DEVELOPER:
EL-AMAR ENGINEERING & CONSTRUCTION, LLC
4080 MCGINNIS FERRY ROAD
ALPHARETTA, GA. 30005
24 HOUR CONTACT
MOHAMED ELSAID
404-740-6472



THE PURPOSE OF THIS PLAT IS TO
CONSOLIDATE TRACTS 1 AND 2.

THIS BLOCK RESERVED FOR THE CLERK
OF THE SUPERIOR COURT.

LEGEND:

IPS	IRON PIN SET	BSL	BUILDING SETBACK LINE
IPF	IRON PIN FOUND	HC	HANDI-CAP
OT	OPEN TOP PIN	CMF	CONCRETE MONUMENT FOUND
CT	CRIMP TOP PIN	SSMH	SANITARY SEWER MAN HOLE
RB	REINFORCING BAR	MHT	MAN HOLE TELEPHONE
CRB	CAPPED RE-BAR	DWCB	CATCH BASIN
CL	CENTERLINE	JB	JUNCTION BOX
R/W	RIGHT-OF-WAY	DI	DROP INLET
LLL	LAND LOT LINE	HW	HEAD WALL
L	LINE	CMP	CORRUGATED METAL PIPE
R	RADIUS	CPP	CORRUGATED PLASTIC PIPE
CONC	CONCRETE	RCP	REINFORCED CONCRETE PIPE
C	CURVE	SSE	SANITARY SEWER EASEMENT
PP	POWER POLE	FH	FIRE HYDRANT
GV	GAS VALVE	DE	DRAINAGE EASEMENT
GM	GAS METER	WV	WATER VALVE
LP	LAMP POLE	PIV	POST INDICATOR VALVE
SS	SANITARY SEWER	WM	WATER METER
FC	FENCE CORNER	CO C/O	SANITARY SEWER CLEANOUT
X	FENCE	POB	POINT OF BEGINNING
AE	ACCESS EASEMENT	POC	POINT OF COMMENCEMENT
PROP	PROPOSE	N/S	NOT TO SCALE
AC	AIR-CONDITIONER	SWCB	SINGLE WING CATCH BASIN
GA	GAS POWER MANHOLE	UE	UTILITY EASEMENT
PB	POWER BOX	PM	POWER METER
CATV	CABLE TELEVISION JUNCTION BOX	CLF	CHAIN-LINK FENCE
TB	TELEPHONE JUNCTION BOX	CTW	CROSS-TIE WALL
APP	ABANDONED POWER POLE	HCS	HANDI-CAP SIGN

SURVEY NOTES:

- HORIZONTAL DATUM IS GEORGIA STATE PLANE WEST ZONE COORDINATE SYSTEM, NORTH AMERICAN DATUM 1983 (NAD83)
- VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)
- ALL DEED BOOK REFERENCES SHOWN HEREON ARE RECORDED IN THE CLERK OF SUPERIOR COURT'S OFFICE OF DEKALB COUNTY, GEORGIA. SUBJECT AND ADJACENT PROPERTY OWNER'S DEED REFERENCES ACCESSED VIA SUPERIOR COURT RECORD SOURCES AND APPLICABLE MUNICIPALITY GIS REFERENCES AND ARE NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT TITLE. ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED.
- STRUCTURES VISIBLE WITHIN THE SUBJECT PROPERTY BOUNDARIES ON THE DATE OF SURVEY ARE SHOWN HEREON.
- LOCATIONS ARE ACCURATE ONLY WHERE DIMENSIONED.
- DISTANCES SHOWN ON THE PLAT ARE HORIZONTAL GROUND DISTANCES.
- THIS PROPERTY MAY CONTAIN WETLANDS. ALL WETLANDS ARE UNDER THE JURISDICTION OF THE U.S. ARMY CORPS OF ENGINEERS AND/OR THE STATE OF GEORGIA DEPARTMENT OF NATURAL RESOURCES. LOT OWNERS ARE SUBJECT TO PENALTY OF LAW FOR DISTURBANCE TO THESE PROTECTED AREAS WITHOUT THE PROPER PERMIT APPLICATION AND APPROVAL.
- THIS PROPERTY IS NOT LOCATED IN SPECIAL FLOOD HAZARD AREA PER THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP No. 13089C0091K; EFFECTIVE DATE: 12-08-2016.
- THE CERTIFICATION, AS SHOWN HEREON, IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, AND BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. THE CERTIFICATION IS NOT AN EXPRESSED OR IMPLIED WARRANTY OR GUARANTEE.
- DEED/PLAT DISCLAIMER: THIS PLAT MAY NOT CONFORM TO THE BEARINGS AND DISTANCES RECORDED ON THE DEED AND/OR PLAT OF RECORD DUE TO SEVERAL FACTORS INCLUDING, BUT NOT LIMITED TO, THE NATURE OF THE ADVANCES IN SURVEYING TECHNOLOGY SUCH AS ELECTRONIC MEASURING DEVICES, MORE PRECISE ANGULAR MEASUREMENTS AND THE ADVENT OF SATELLITE SURVEYING TECHNIQUES USING "GPS" AND "GLONASS" SATELLITE CONSTELLATIONS. SURVEYS USING SATELLITE OBSERVATIONS ARE CORRECTED TO THE GEORGIA WEST STATE PLANE COORDINATE SYSTEM AND USE "GEODETIC" OR "GRID" NORTH AS OPPOSED TO "MAGNETIC" NORTH.
- INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER, AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION SHOWN HEREON AS TO SUCH UNDERGROUND INFORMATION.
- RIGHT-OF-WAYS ARE BASED ON CENTERLINES OF EXISTING PATHS OF TRAVEL, UNLESS NOTED OTHERWISE.
- ALL PROPERTY CORNERS FOR LOTS TO BE SET IN FIELD AS 1/2" (#4) REBAR WITH PINK CAPS MARKED "FLS CORNER LSF 631" UNLESS OTHERWISE STATED.
- THIS SURVEY COMPLIES WITH BOTH THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE OFFICIAL CODE OF GEORGIA ANNOTATED (OCCA) 15-6-67 AS AMENDED BY HB76 (2017), IN THAT WHERE A CONFLICT EXISTS BETWEEN THOSE TWO SETS OF SPECIFICATIONS, THE REQUIREMENTS OF LAW PREVAIL.
- BOUNDARY FIELD WORK PERFORMED 01-26-2022 BY FRONTLINE SURVEYING & MAPPING, INC.
TOPOGRAPHIC INFORMATION IS GROUND RUN, DATA GATHERED BY FRONTLINE SURVEYING & MAPPING, INC. ON 01-26-2022.
- EQUIPMENT USED: GEOMAX ROBOTIC ELECTRONIC TOTAL STATION & TRIMBLE 5800 GPS RECEIVER UTILIZING CHAMPION GPS/AGPS NETWORK.
- ANGULAR ERROR: 3 SECONDS PER ANGLE.
- RAW FIELD PRECISION: 1:12,383.
- ADJUSTED BY LEAST SQUARES.
- PLAT CLOSURE: 1:259,935.

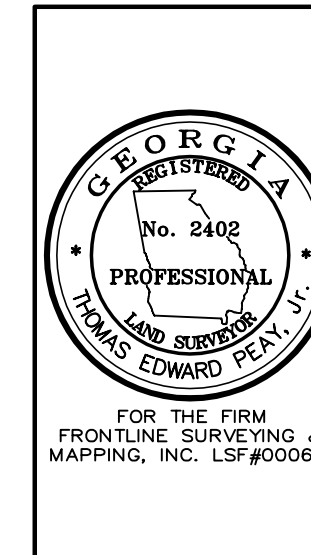
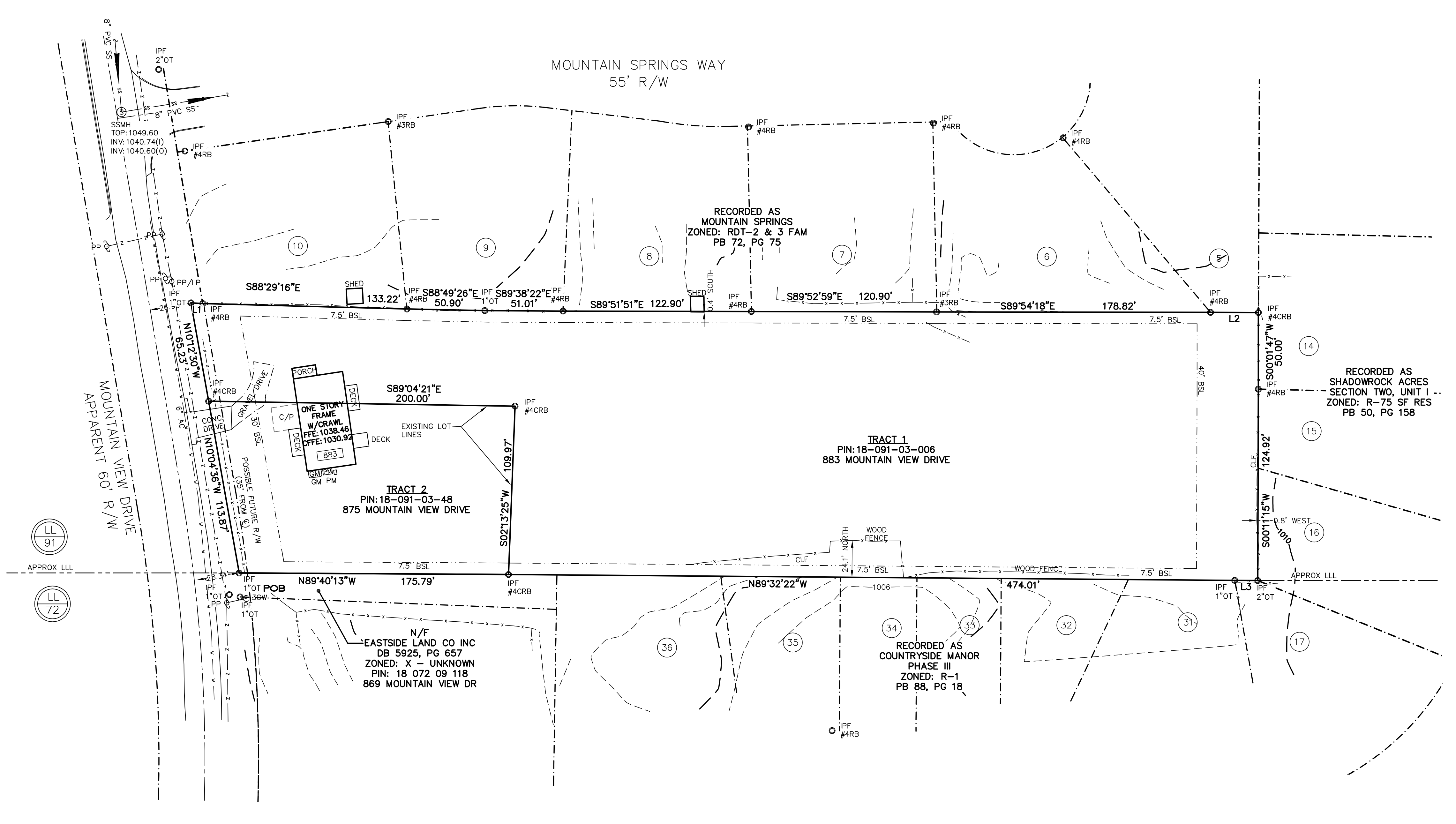
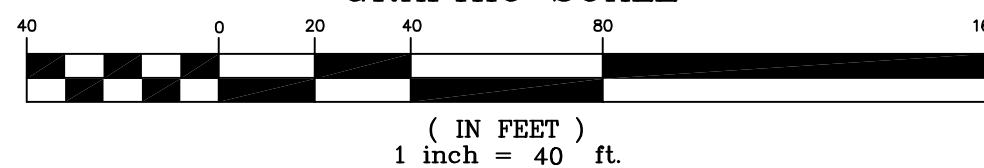
ENCROACHMENT STATEMENT:

THERE ARE NO ENCROACHMENTS ONTO ADJOINING PREMISES, STREETS OR ALLEYS BY ANY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS LOCATED ON THE PREMISES, AND NO ENCROACHMENTS ONTO SAID PREMISES BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES EXCEPT AS NOTED BELOW.

- POSSIBLE ENCROACHMENTS INCLUDE:
- SHED IN THE NORTHERLY PORTION OF THE PROPERTY.
 - CHAIN-LINK FENCE ALONG THE EASTERLY SECTION OF THE PROPERTY.
 - WOODEN AND CHAIN-LINK FENCE ALONG THE SOUTHERLY SECTION OF THE PROPERTY.

LINE	LENGTH	BEARING
L1	7.78	S86°27'00"E
L2	31.23	S89°46'38"E
L3	14.99	N89°36'53"W

GRAPHIC SCALE



SURVEYOR'S CERTIFICATION:
AS REQUIRED BY SUBSECTION (D) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS, AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

By: *Thomas E. Peay, Jr.* 05-20-22
Frontline Surveying & Mapping, Inc.
3595 Canton Rd.
Suite 312, PMB-272
Marietta, Ga. 30066

3595 Canton Road
Suite 312, PMB 272
Marietta, GA 30066
Ph. (678) 355-9905
Fax (678) 355-9805

FRONTLINE SURVEYING & MAPPING, INC.
www.frontlinesurveying.com

DATE	01/26/2022
SCALE	1" = 40'
SECTION	DEKALB COUNTY, GEORGIA
DISTRICT	18th
BLOCK	91
LOT	91
REVISION	
BY:	
DATE:	

LOT COMBINATION PLAT FOR:

EL-AMAR ENGINEERING & CONSTRUCTION, INC.

18th DISTRICT

UNIT

PHASE

I HAVE THIS DATE EXAMINED THE "FIA OFFICIAL FLOOD HAZARD MAP" AND FOUND THAT IT IS GRAPHIC FLOODING ONLY THE REFERENCE PARCEL (S 29742) IN AN AREA HAVING SPECIAL FLOOD HAZARDS.

PG. 504

DB 29742 PG. 504

EFFECTIVE DATE: 02/08/16

MAP ID: 13089C0091K

FOR THE FIRM FRONTLINE SURVEYING & MAPPING, INC. LSF#000631

DATE: 05-20-22

NO. 2402

PROFESSIONAL SURVEYOR

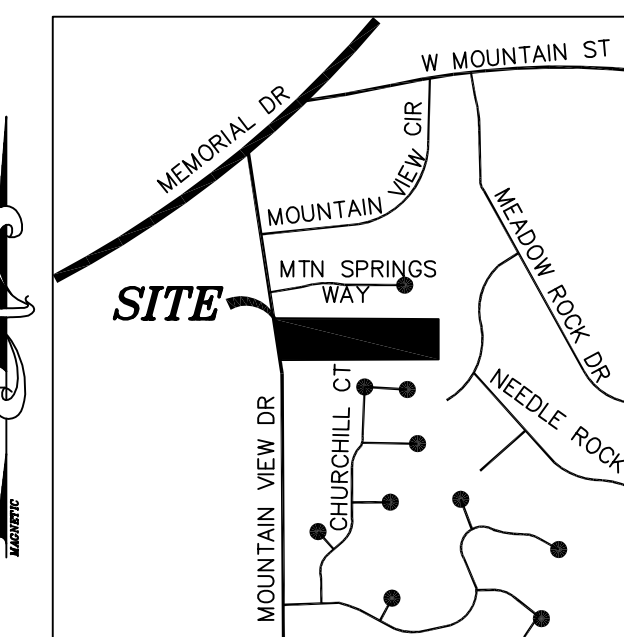
THOMAS EDWARD PEAY, JR.

CURRENT ZONING: R-75 REGULATION SEC. 27-186
FRONT SETBACK= 30'
SIDE SETBACK= 7.5'
MAJOR SIDE SETBACK= N/A
REAR SETBACK= 40'
MINIMUM LOT SIZE: 10,000 sq.ft.
MINIMUM FRONTAGE: 75 ft.
MAXIMUM LOT COVERAGE=35%
MAXIMUM FLOOR AREA RATIO (FAR) 1600 sq.ft.

BOUNDARY RETRACEMENT & TOPOGRAPHIC SURVEY FOR:
EL-AMAR ENGINEERING & CONSTRUCTION, INC.

875 & 883 MOUNTAIN VIEW DRIVE
LAND LOT 91
18th DISTRICT
DEKALB COUNTY, GEORGIA
EXISTING ZONING: R-75

TOTAL AREA:
118,122 SQ FT
2.71 ACRES



SITE MAP (NTS)

THIS BLOCK RESERVED FOR THE CLERK OF THE SUPERIOR COURT.

LEGEND table listing symbols for various features like BSL, HC, BOLLARD, CONCRETE MONUMENT FOUND, etc.

SURVEY NOTES:

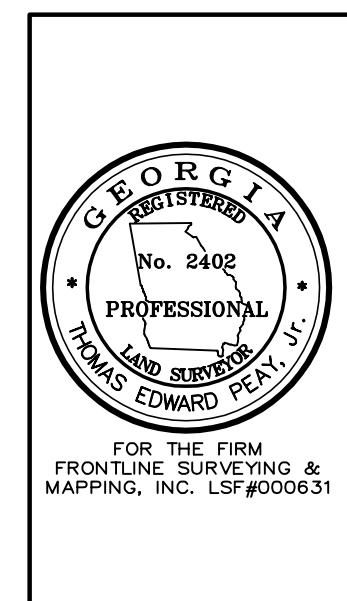
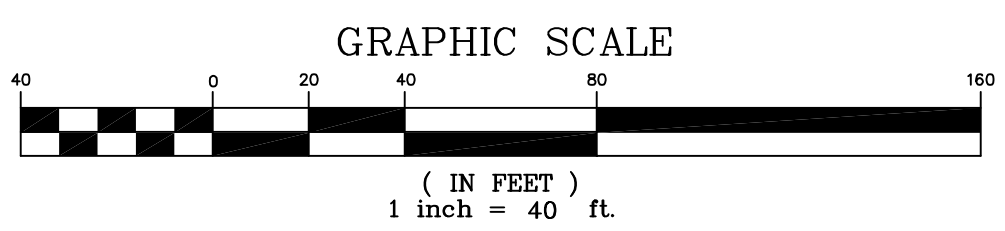
- 1) HORIZONTAL DATUM IS GEORGIA STATE PLANE WEST ZONE COORDINATE SYSTEM, NORTH AMERICAN DATUM 1983 (NAD83)...
- 2) VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)...
- 3) ALL DEED BOOK REFERENCES SHOWN HEREON ARE RECORDED IN THE CLERK OF SUPERIOR COURT'S OFFICE OF DEKALB COUNTY, GEORGIA...
- 4) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT TITLE. ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED.
- 5) STRUCTURES VISIBLE WITHIN THE SUBJECT PROPERTY BOUNDARIES ON THE DATE OF SURVEY ARE SHOWN HEREON.
- 6) LOCATIONS ARE ACCURATE ONLY WHERE DIMENSIONED.
- 7) DISTANCES SHOWN ON THE PLAT ARE HORIZONTAL GROUND DISTANCES.
- 8) THIS PROPERTY MAY CONTAIN WETLANDS. ALL WETLANDS ARE UNDER THE JURISDICTION OF THE U.S. ARMY CORPS OF ENGINEERS AND/OR THE STATE OF GEORGIA DEPARTMENT OF NATURAL RESOURCES...
- 9) THIS PROPERTY IS NOT LOCATED IN SPECIAL FLOOD HAZARD AREA PER THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP No. 13089C0091K, EFFECTIVE DATE: 12-08-2016.
- 10) THE CERTIFICATION, AS SHOWN HEREON, IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, AND BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. THE CERTIFICATION IS NOT AN EXPRESSED OR IMPLIED WARRANTY OR GUARANTEE.
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- 12) INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER, AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION SHOWN HEREON AS TO SUCH UNDERGROUND INFORMATION.
- 13) RIGHT-OF-WAYS ARE BASED ON CENTERLINES OF EXISTING PATHS OF TRAVEL, UNLESS NOTED OTHERWISE.
- 14) ALL PROPERTY CORNERS FOR LOTS TO BE SET IN FIELD AS 1/2" (#4) REBAR WITH PINK CAPS MARKED "FLS CORNER LSF 631" UNLESS OTHERWISE STATED.
- 15) THIS SURVEY COMPLIES WITH BOTH THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE OFFICIAL CODE OF GEORGIA ANNOTATED (OCCA) 15-6-67 AS AMENDED BY HB76 (2017), IN THAT WHERE A CONFLICT EXISTS BETWEEN THOSE TWO SETS OF SPECIFICATIONS, THE REQUIREMENTS OF LAW PREVAIL.
- 16) BOUNDARY FIELD WORK PERFORMED 01-26-2022 BY FRONTLINE SURVEYING & MAPPING, INC. TOPOGRAPHIC INFORMATION IS GROUND RUN, DATA GATHERED BY FRONTLINE SURVEYING & MAPPING, INC. ON 01-26-2022.
- 17) EQUIPMENT USED: GEOMAX ROBOTIC ELECTRONIC TOTAL STATION & TRIMBLE 5800 GPS RECEIVER UTILIZING CHAMPION GPS/AGPS NETWORK.
- 18) ANGULAR ERROR: 3 SECONDS PER ANGLE.
- 19) RAW FIELD PRECISION: 1:12,383.
- 20) ADJUSTED BY LEAST SQUARES.
- 21) PLAT CLOSURE: 1:259,935.

ENCROACHMENT STATEMENT:

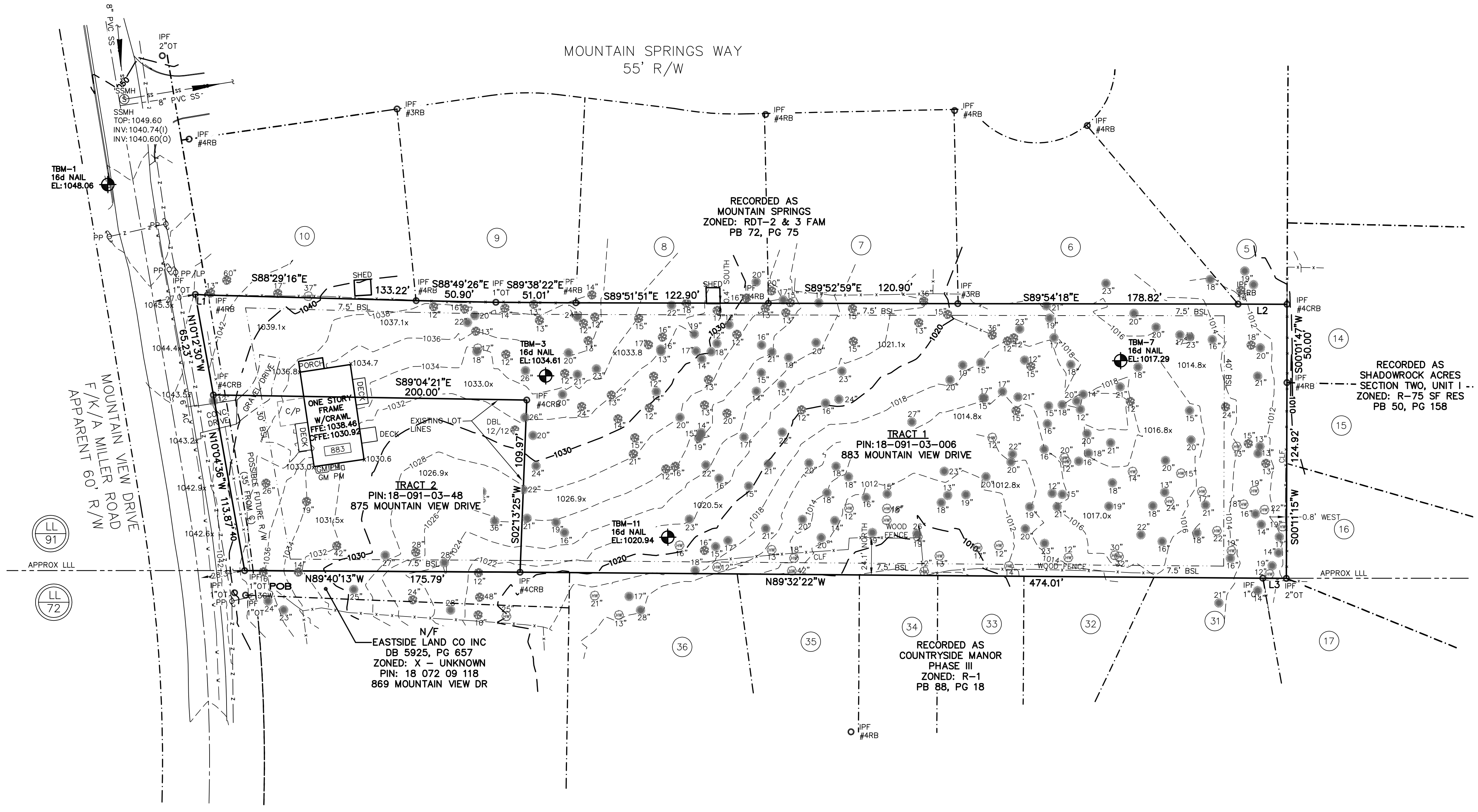
THERE ARE NO ENCROACHMENTS ONTO ADJOINING PREMISES, STREETS OR ALLEYS BY ANY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS LOCATED ON THE PREMISES, AND NO ENCROACHMENTS ONTO SAID PREMISES BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES EXCEPT AS NOTED BELOW.

- POSSIBLE ENCROACHMENTS INCLUDE:
1) SHED IN THE NORTHERLY PORTION OF THE PROPERTY.
2) CHAIN-LINK FENCE ALONG THE EASTERLY SECTION OF THE PROPERTY.
3) WOODEN AND CHAIN-LINK FENCE ALONG THE SOUTHERLY SECTION OF THE PROPERTY.

LINE TABLE with columns: LINE, LENGTH, BEARING. Includes lines L1, L2, L3 with measurements like 7.78, 31.23, 14.99 and bearings like S86°27'00"E, S89°46'38"E, N89°36'53"W.



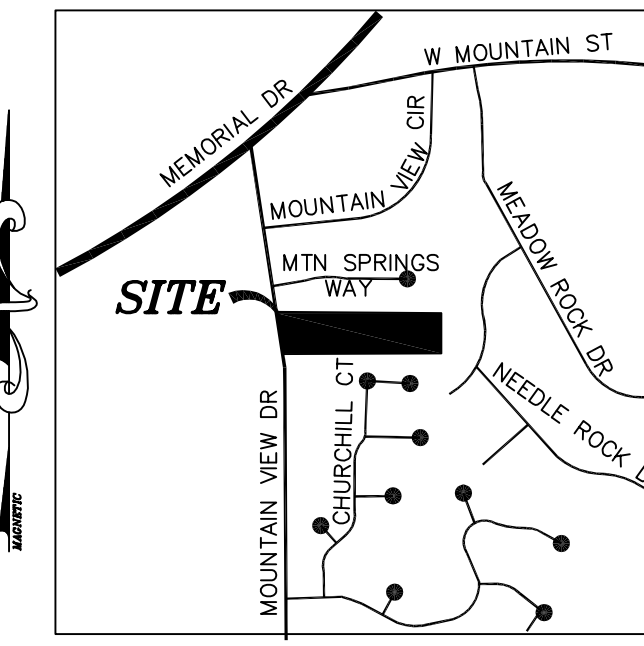
SURVEYOR'S CERTIFICATION: THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES... RECORDED AS MOUNTAIN SPRINGS ZONED: RDT-2 & 3 FAM PB 72, PG 75... RECORDED AS SHADOWROCK ACRES SECTION TWO, UNIT 1 ZONED: R-75 SF RES PB 50, PG 158... RECORDED AS COUNTRYSIDE MANOR PHASE III ZONED: R-1 PB 88, PG 18... DATE: 05-20-22



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Table with columns: DATE, SCALE, SECTION, BLOCK, LOT, SUBDIVISION, UNIT, PHASE, REVISION, and a signature line for the surveyor.

LAND LOT 91
18th DISTRICT
DEKALB COUNTY, GEORGIA
EXISTING ZONING: R-75
PROPOSED ZONING R-60
PROP. BUILDING HEIGHTS 25±'
PROP. LOT COVERAGE 34%



TOTAL AREA:
118,122 SQ FT
2.71 ACRES
TOTAL DENSITY 3.69 UNITS/ACRE
PARKING PROVIDED 23 SPACES
OPEN SPACE PROVIDED 0.39 ACRES

LANDSCAPE NOTES:
THERE IS TO BE A VOLUNTARY 5' ENHANCED LANDSCAPE STRIP PLANTED AROUND THE ENTIRE PERIMETER OF THE PROJECT TO HELP PROTECT THE ADJACENT LOTS.
PLEASE NOTE: THAT THERE IS NO LANDSCAPE BUFFERS REQUIRED ON THIS PROJECT AS THE ZONING IS SINGLE FAMILY RESIDENTIAL TO SINGLE FAMILY RESIDENTIAL.
LANDSCAPE PLAN: A DETAILED LANDSCAPE PLAN WILL BE INCLUDED WITH THE CONSTRUCTION PLANS BEFORE A LAND DISTURBANCE PERMIT IS TO BE ISSUED.

DEKALB COUNTY - EXISTING ZONING R-75

CURRENT ZONING:	REGULATION
R-75	SEC. 27-186
FRONT SETBACK= 30'	
SIDE SETBACK= 7.5'	
MAJOR SIDE SETBACK= N/A	
REAR SETBACK= 40'	
MINIMUM LOT SIZE: 10,000 sq.ft.	
MINIMUM FRONTAGE: 75 ft.	
MAXIMUM LOT COVERAGE=35%	
MAXIMUM FLOOR AREA RATIO (FAR) 1600 sq.ft.	

DEKALB COUNTY - PROP ZONING R-60

CURRENT ZONING:	REGULATION
R-75	SEC. 27-186
FRONT SETBACK= 20'	
SIDE SETBACK= 7.5'	
MAJOR SIDE SETBACK= N/A	
REAR SETBACK= 30'	
MINIMUM LOT SIZE: 6,000 sq.ft.	
MINIMUM FRONTAGE: 30-DE S'AC: 35 ft.	
MINIMUM FRONTAGE	
MAXIMUM LOT COVERAGE=35%	
MAXIMUM FLOOR AREA RATIO (FAR) 1600 sq.ft.	

LEGEND:

IPS	IRON PIN SET	BSL	BUILDING SETBACK LINE
IPF	IRON PIN FOUND	HC	HAND-UP
CT	OPEN TOP PIN	CMF	CONCRETE MONUMENT FOUND
CRB	REINFORCING BAR	SMH	SANITARY SEWER MAN HOLE
CL	CAPPED RE-BAR	MHT	MAN HOLE TELEPHONE
R/W	CENTERLINE	DWCB	CATCH BASIN
LLL	RIGHT-OF-WAY	JB	JUNCTION BOX
L	LAND LOT LINE	HW	HEAD WALL
R	LINE	CMP	CORRUGATED METAL PIPE
CONC	RADIUS	CPP	CORRUGATED PLASTIC PIPE
C	CONCRETE	RCP	REINFORCED CONCRETE PIPE
PP	POWER POLE	SSE	SANITARY SEWER EASEMENT
GV	GAS VALVE	FH	FIRE HYDRANT
GM	GAS METER	DE	DRAINAGE EASEMENT
LP	LAMP POLE	WV	WATER VALVE
SS	SANITARY SEWER	PIV	POST INDICATOR VALVE
FC	FENCE CORNER	WM	WATER METER
AE	ACCESS EASEMENT	CO C/O	SANITARY SEWER CLEANOUT
PROP	PROPOSED	POB	POINT OF BEGINNING
AC	AIR-CONDITIONER	NTS	NOT TO SCALE
PB	POWER BOX	SWCB	SINGLE WING CATCH BASIN
CATV	CABLE TELEVISION JUNCTION BOX	UE	UTILITY EASEMENT
TB	TELEPHONE JUNCTION BOX	PM	POWER METER
APP	ABANDONED POWER POLE	CLF	CHAIN-LINK FENCE
		CTW	CROSS-TIE WALL
		HCS	HAND-UP CAP SIGN

SURVEY NOTES:

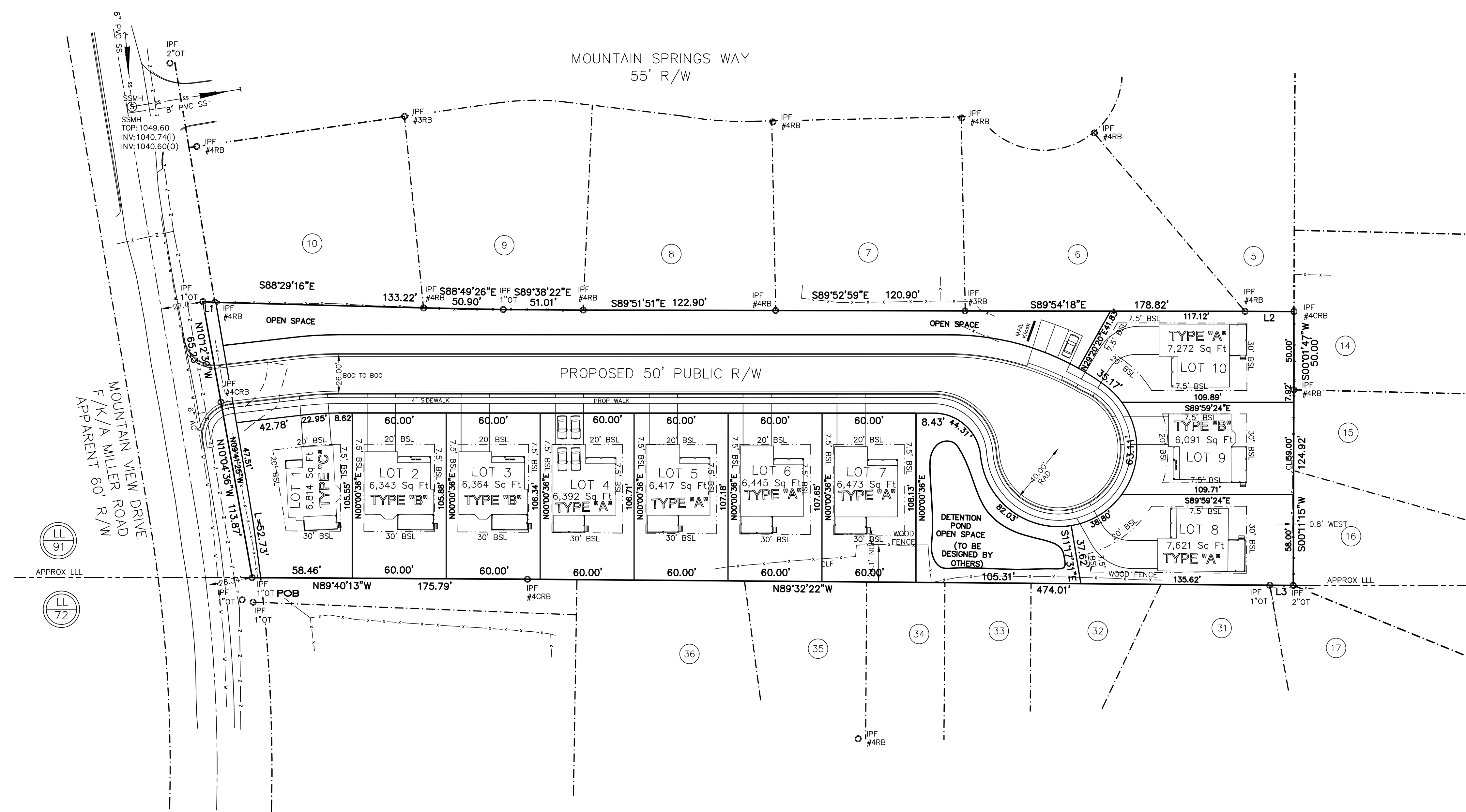
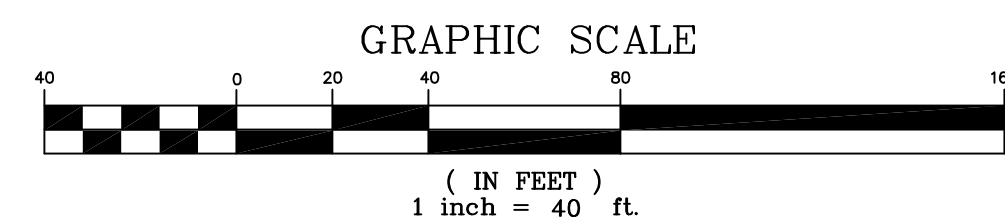
- HORIZONTAL DATUM IS GEORGIA STATE PLANE WEST ZONE COORDINATE SYSTEM, NORTH AMERICAN DATUM 1983 (NAD83)
- VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)
- ALL DEED BOOK REFERENCES SHOWN HEREON ARE RECORDED IN THE CLERK OF SUPERIOR COURT'S OFFICE OF DEKALB COUNTY, GEORGIA. SUBJECT AND ADJACENT PROPERTY OWNER'S DEED REFERENCES ACCESSED VIA SUPERIOR COURT RECORD SOURCES AND APPLICABLE MUNICIPALITY GIS REFERENCES AND ARE NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT TITLE. ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED.
- STRUCTURES VISIBLE WITHIN THE SUBJECT PROPERTY BOUNDARIES ON THE DATE OF SURVEY ARE SHOWN HEREON.
- LOCATIONS ARE ACCURATE ONLY WHERE DIMENSIONED.
- DISTANCES SHOWN ON THE PLAT ARE HORIZONTAL GROUND DISTANCES.
- THIS PROPERTY MAY CONTAIN WETLANDS. ALL WETLANDS ARE UNDER THE JURISDICTION OF THE U.S. ARMY CORPS OF ENGINEERS AND/OR THE STATE OF GEORGIA DEPARTMENT OF NATURAL RESOURCES. LOT OWNERS ARE SUBJECT TO PENALTY OF LAW FOR DISTURBANCE TO THESE PROTECTED AREAS WITHOUT THE PROPER PERMIT APPLICATION AND APPROVAL.
- THIS PROPERTY IS NOT LOCATED IN SPECIAL FLOOD HAZARD AREA PER THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP No. 13089C0091K; EFFECTIVE DATE: 12-09-2016.
- THE CERTIFICATION, AS SHOWN HEREON, IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, AND BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. THE CERTIFICATION IS NOT AN EXPRESSED OR IMPLIED WARRANTY OR GUARANTEE.
- DEED/PLAT DISCLAIMERS: THIS PLAT MAY NOT CONFORM TO THE BEARINGS AND DISTANCES RECORDED ON THE DEED AND/OR PLAT OF RECORD DUE TO SEVERAL FACTORS INCLUDING, BUT NOT LIMITED TO, THE NATURE OF THE ADVANCES IN SURVEYING TECHNOLOGY SUCH AS ELECTRONIC MEASURING DEVICES, MORE PRECISE ANGULAR MEASUREMENTS AND THE ADVENT OF SATELLITE SURVEYING TECHNIQUES USING "GPS" AND "GLONASS" SATELLITE CONSTELLATIONS. SURVEYS USING SATELLITE OBSERVATIONS ARE CORRECTED TO THE GEORGIA WEST STATE PLANE COORDINATE SYSTEM AND USE "GEODETTIC" OR "GRID" NORTH AS OPPOSED TO "MAGNETIC" NORTH.
- INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER, AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR EFFICIENCY OF THIS INFORMATION SHOWN HEREON AS TO SUCH UNDERGROUND INFORMATION.
- RIGHT-OF-WAYS ARE BASED ON CENTERLINES OF EXISTING PATHS OF TRAVEL, UNLESS NOTED OTHERWISE.
- ALL PROPERTY CORNERS FOR LOTS TO BE SET IN FIELD AS 1/2" (#4) REBAR WITH PINK CAPS MARKED "FLS CORNER LSF 631" UNLESS OTHERWISE STATED.
- THIS SURVEY COMPLES WITH BOTH THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE OFFICIAL CODE OF GEORGIA ANNOTATED (OCGA) 15-6-67 AS AMENDED BY HB76 (2017), IN THAT WHERE A CONFLICT EXISTS BETWEEN THOSE TWO SETS OF SPECIFICATIONS, THE REQUIREMENTS OF LAW PREVAIL.
- BOUNDARY FIELD WORK PERFORMED 01-26-2022 BY FRONTLINE SURVEYING & MAPPING, INC.
- TOPOGRAPHIC INFORMATION IS GROUND RUN, DATA GATHERED BY FRONTLINE SURVEYING & MAPPING, INC. ON 01-26-2022.
- EQUIPMENT USED: GEOMAX ROBOTIC ELECTRONIC TOTAL STATION & TRIMBLE S800 GPS RECEIVER UTILIZING CHAMPION GPS/EGPS NETWORK.
- ANGULAR ERROR: 3 SECONDS PER ANGLE.
- RAW FIELD PRECISION: 1:12,383.
- ADJUSTED BY LEAST SQUARES.
- PLAT CLOSURE: 1:259,935.

ENCROACHMENT STATEMENT:

THERE ARE NO ENCROACHMENTS ONTO ADJOINING PREMISES, STREETS OR ALLEYS BY ANY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS LOCATED ON THE PREMISES, AND NO ENCROACHMENTS ONTO SAID PREMISES BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES EXCEPT AS NOTED BELOW.

- POSSIBLE ENCROACHMENTS INCLUDE:
- SHED IN THE NORTHERLY PORTION OF THE PROPERTY.
 - CHAIN-LINK FENCE ALONG THE EASTERLY SECTION OF THE PROPERTY.
 - WOODEN AND CHAIN-LINK FENCE ALONG THE SOUTHERLY SECTION OF THE PROPERTY.

LINE	LENGTH	BEARING
L1	7.78	S86°27'00"E
L2	31.23	S89°46'38"E
L3	14.99	N89°36'53"W



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FRONTLINE SURVEYING & MAPPING, INC.
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BOUNDARY RETRACEMENT SURVEY FOR: **EL-AMAR ENGINEERING & CONSTRUCTION, INC.**

DATE: 01/26/2022
SCALE: 1" = 40'

SECTION: DEKALB COUNTY, GEORGIA
BLOCK: 91
UNIT: 18th DISTRICT

REVISION: _____
ADD F.M.L. ROAD NAME: _____
CLIENT COMMENTS: _____

DATE: 05/20/22
BY: TLA
DATE: 05/20/22
BY: TEP

PHASE: PLATTING MAP
SUBDIVISION: _____
PG: 504
JOB # 76782-2

PROFESSIONAL SURVEYOR & MAPPING, INC. LICENSE NO. 2402
EFFECTIVE DATE: 12/08/16



3595 Canton Road
Suite 116, PMB 272
Marietta, GA 30066
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LEGAL DESCRIPTION – 2.71 ACRES


ALL THAT TRACT OR PARCEL OF LAND lying and being in Land Lot 91 of the 18th District of Dekalb County, Georgia and being more particularly described as follows:

BEGINNING at a point (Iron Pin Found, 1 inch Open-Top) located where the easterly right-of-way of Mountain View Drive (f/k/a Miller Road) (60' R/W) intersects the southerly land lot line of Land Lot 91 (also being the northerly line of Land Lot 72), said point being the TRUE POINT OF BEGINNING;

THENCE, from said Point of Beginning thus established, continuing to follow said right-of-way of Mountain View Road the following courses and distances: North 10°04'36" West a distance of 113.87 feet to a point (Iron Pin Found, #4 Capped Re-Bar); North 10°12'30" West a distance of 65.23 feet to a point (Iron Pin Found, 1 inch Open-Top); Thence leaving said right-of-way proceed South 86°27'00" East a distance of 7.78 feet to a point (Iron Pin Found, #4 Re-Bar); Thence proceed South 88°29'16" East a distance of 133.22 feet to a point (Iron Pin Found, #4 Re-Bar); Thence proceed South 88°49'26" East a distance of 50.90 feet to a point (Iron Pin Found, 1 inch Open-Top); Thence proceed South 89°38'22" East a distance of 51.01 feet to a point (Iron Pin Found, #4 Re-Bar); Thence proceed South 89°51'51" East a distance of 122.90 feet to a point (Iron Pin Found, #4 Re-Bar); Thence proceed South 89°52'59" East a distance of 120.90 feet to a point (Iron Pin Found, #4 Re-Bar); Thence proceed South 89°54'18" East a distance of 178.82 feet to a point (Iron Pin Found, #4 Re-Bar); Thence proceed South 89°46'38" East a distance of 31.23 feet to a point (Iron Pin Found, #4 Capped Re-Bar); Thence proceed South 00°01'47" West a distance of 50.00 feet to a point (Iron Pin Found, #4 Re-Bar); Thence proceed South 00°11'15" West a distance of 124.92 feet to a point (Iron Pin Found, 2 inch Open-Top); Thence proceed North 89°36'53" West a distance of 14.99 feet to a point (Iron Pin Found, 1 inch Open-Top); Thence proceed North 89°32'22" West a distance of 474.01 feet to a point (Iron Pin Found, #4 Capped Re-Bar); Thence proceed North 89°40'13" West a distance of 175.79 feet to a point, said point being the POINT OF BEGINNING.

Together with and subject to all covenants, easements, and restrictions of record.

Tract described herein containing 2.71 acres of land (118,122 Square feet), more or less, shown on a survey titled Boundary Retracement Survey for El-Amar Engineering & Construction, Inc., by Frontline Surveying & Mapping, Inc., job number 76782-2, dated 01/26/2022, last revised 05/20/2022, also being known as 875 & 883 Mountain View Drive according to the current system of numbering in Dekalb County, Georgia.



Thomas E. Peay, Jr. Ga. RLS 2402
For the Firm of Frontline Surveying & Mapping, Inc.



PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"

TYPE A

PROJECT DATA

FIRST FLOOR HEATED AREA: 1122 SQF.
 2ND FLOOR HEATED AREA: 1062 SQF.
 GARAGE AREA: 455 (±) SQF.
 REAR OPEN PATIO: 233 (±) SQF.
 FRONT COVERED PATIO: 78 (±) SQF.

GENERAL NOTES:

1. REFER TO ALL OTHER SHEETS FOR ADDITIONAL INFORMATION.
2. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS ON-SITE AS NOTED ON THE PLANS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
3. AN "*" INDICATES AN OPTIONAL ITEM OR CONDITION AND SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION / INSTALLATION.
4. ALL FOOTING AND SLAB ELEVATIONS WILL BE DETERMINED BASED ON THE ORIGINAL TOPOGRAPHIC SURVEY. THE CONTRACTOR SHALL ADJUST AS REQUIRED TO SUIT FINAL SITE GRADING CONDITIONS.
5. ALL LUMBER IN CONTACT WITH CMU/CONCRETE SHALL BE PRESSURE TREATED (P.T.) WITH CCA PRESERVATIVES.

GENERAL NOTES:

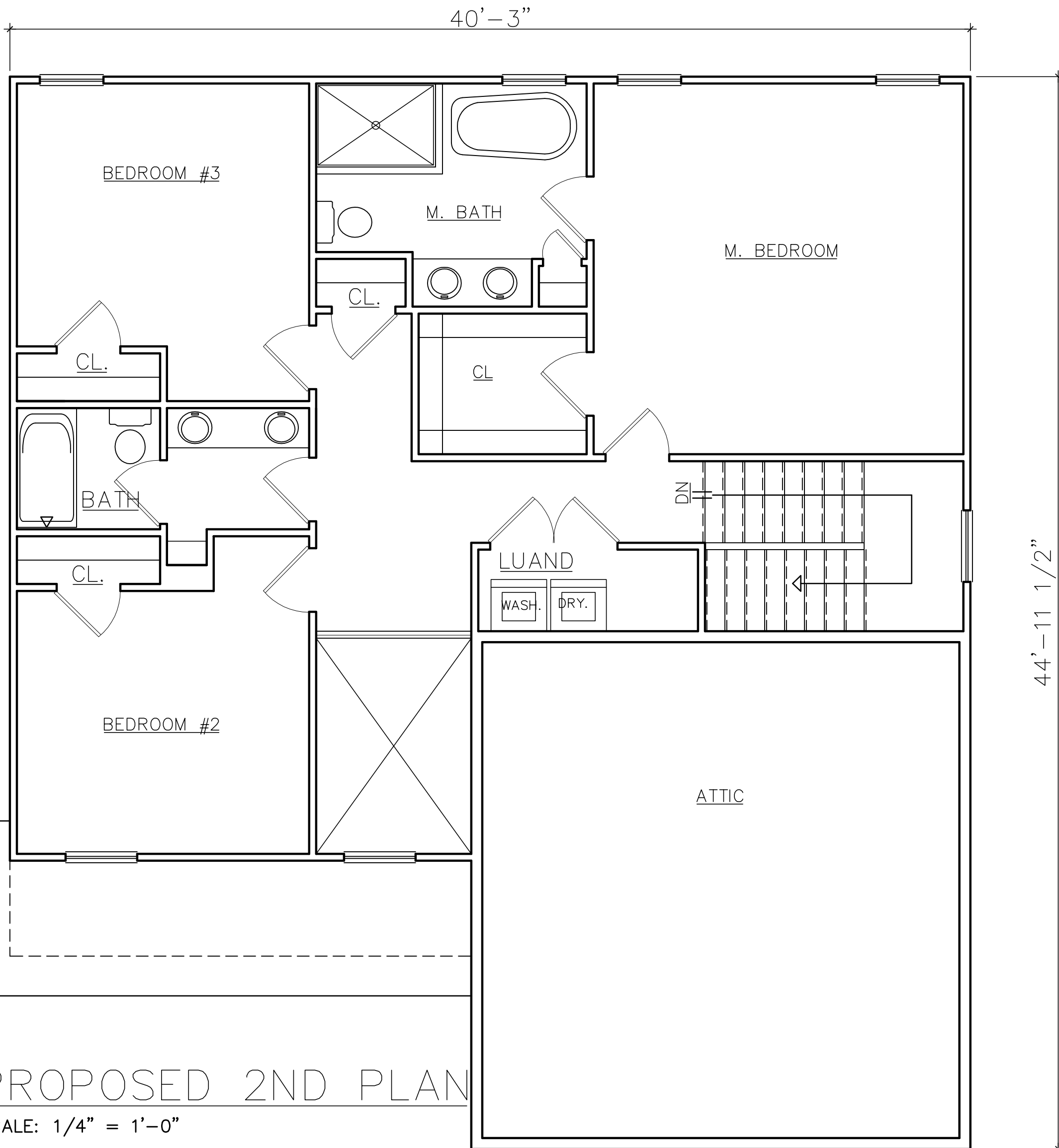
- 1) ALL INFORMATION SHALL BE IN CONFORMANCE WITH THE CURRENT ZONING ORDINANCE REQUIREMENTS UNLESS NOTED OTHERWISE.
- 2) THE OWNER SHALL APPROVE/CONFIRM THE SIZE AND LOCATION OF THE BUILDING, WALKWAYS, DRIVEWAYS AND LANDSCAPING PRIOR TO CONSTRUCTION.
- 3) SURVEY INFORMATION WAS TAKEN FROM PLANS PREPARED BY FRONTLINES SUREVYING DATED 12/27/21



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 FAX: 678 762 0575

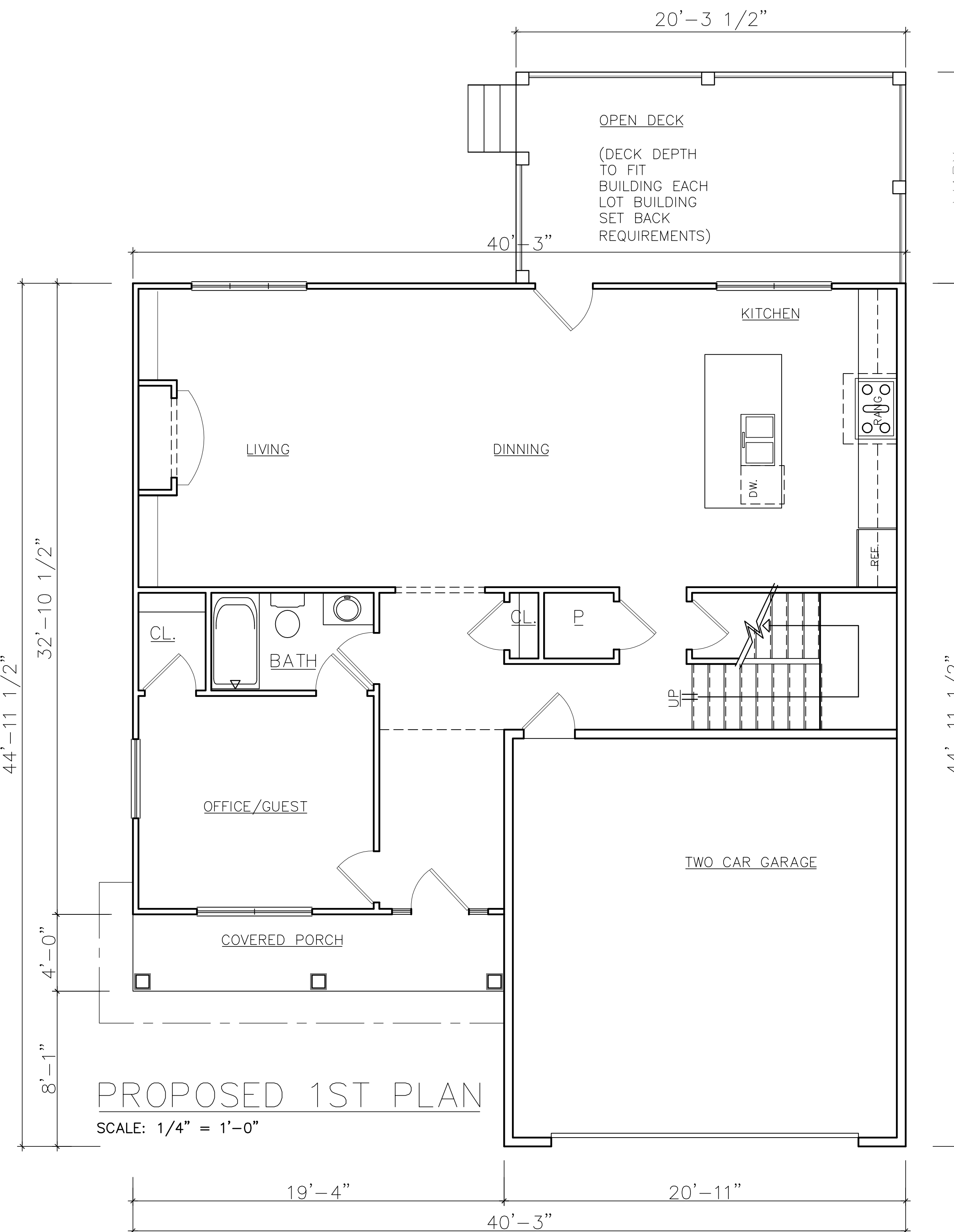
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PROPOSED 2ND PLAN

SCALE: 1/4" = 1'-0"



PROPOSED 1ST PLAN

SCALE: 1/4" = 1'-0"

MOUNTAIN VIEW SUBDIVISION

883 MOUNTAIN VIEW DR,
 STONE MOUNTAIN,
 GA 30083

PRINTED

REVISIONS

PROJECT No. 21021

Drawn By AA

Checked By AM

Drawing Title

DATE 09/12/2021

TYPE "A"
 FLOOR PLAN

Sheet No.

NOT ISSUE FOR CONSTRUCTION



PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"

TYPE B

PROJECT DATA

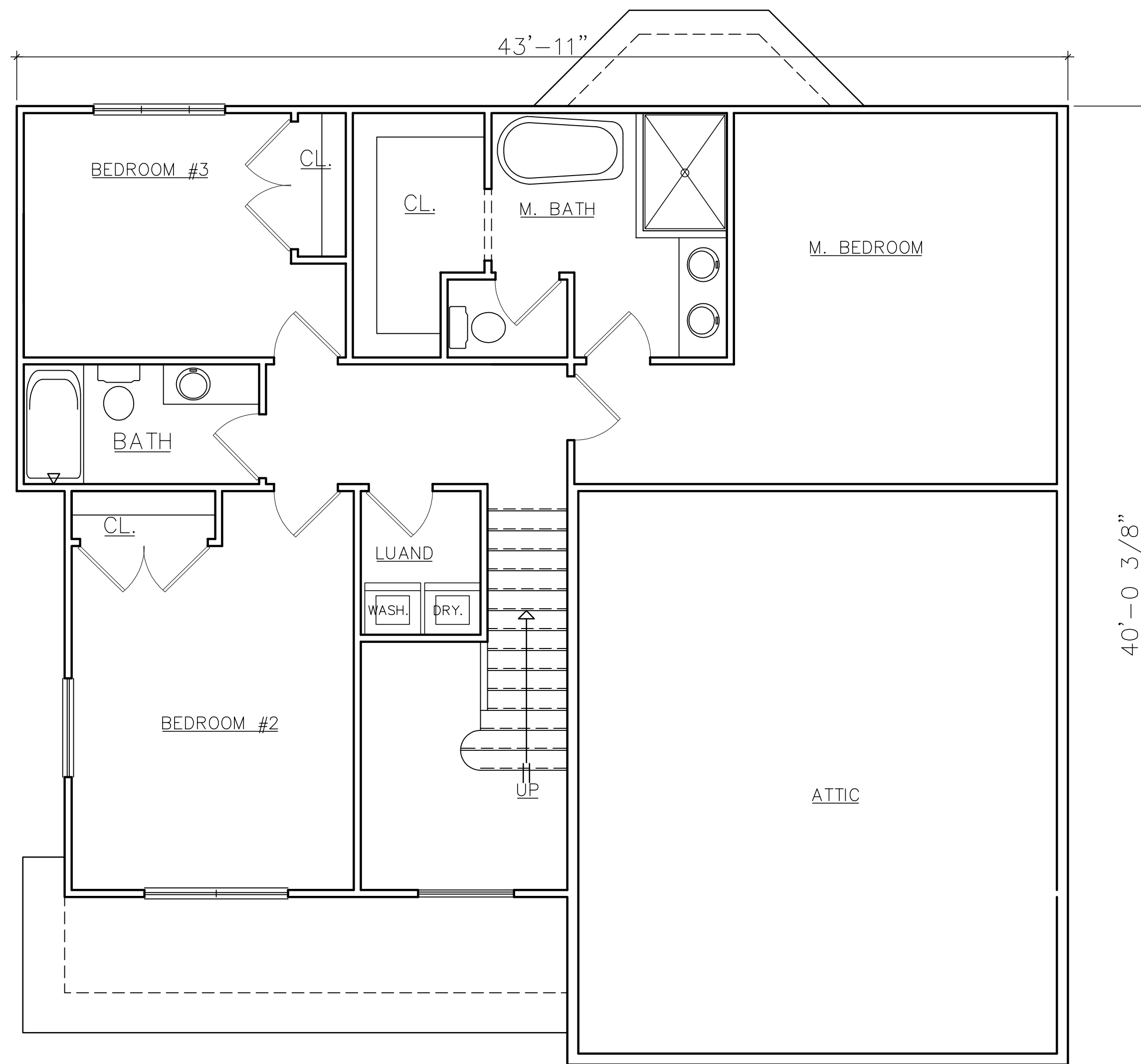
FIRST FLOOR HEATED AREA: 1120 SQF.
 2ND FLOOR HEATED AREA: 950 SQF.
 GARAGE AREA: 467 (±) SQF.
 REAR OPEN PATIO: 230 (±) SQF.
 FRONT COVERED PATIO: 84 (±) SQF.

GENERAL NOTES:

1. REFER TO ALL OTHER SHEETS FOR ADDITIONAL INFORMATION.
2. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS ON-SITE AS NOTED ON THE PLANS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
3. AN "*" INDICATES AN OPTIONAL ITEM OR CONDITION AND SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION / INSTALLATION.
4. ALL FOOTING AND SLAB ELEVATIONS WILL BE DETERMINED BASED ON THE ORIGINAL TOPOGRAPHIC SURVEY. THE CONTRACTOR SHALL ADJUST AS REQUIRED TO SUIT FINAL SITE GRADING CONDITIONS.
5. ALL LUMBER IN CONTACT WITH CMU/CONCRETE SHALL BE PRESSURE TREATED (P.T.) WITH CCA PRESERVATIVES.

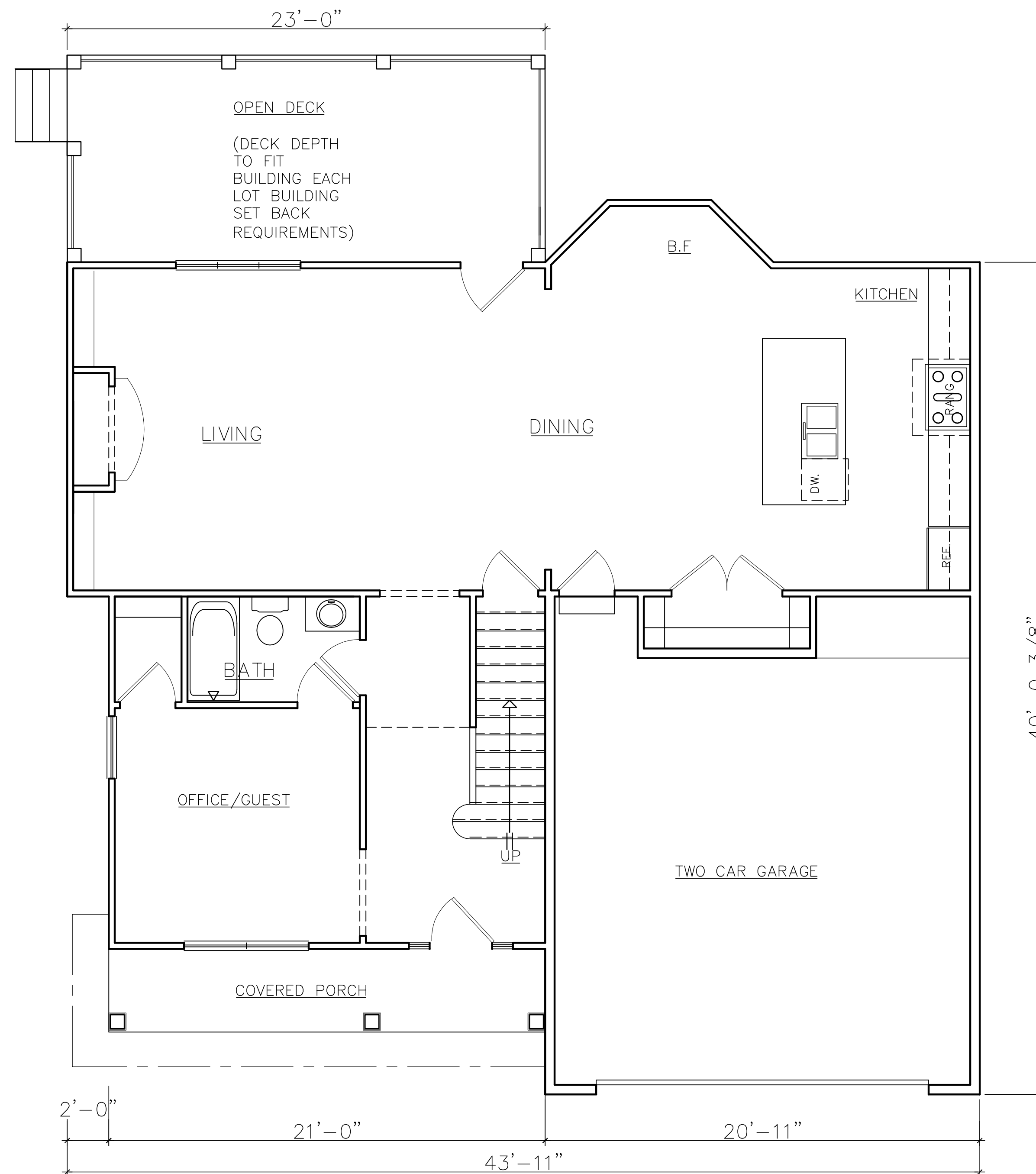
GENERAL NOTES:

- 1) ALL INFORMATION SHALL BE IN CONFORMANCE WITH THE CURRENT ZONING ORDINANCE REQUIREMENTS UNLESS NOTED OTHERWISE.
- 2) THE OWNER SHALL APPROVE/CONFIRM THE SIZE AND LOCATION OF THE BUILDING, WALKWAYS, DRIVEWAYS AND LANDSCAPING PRIOR TO CONSTRUCTION.
- 3) SURVEY INFORMATION WAS TAKEN FROM PLANS PREPARED BY FRONTLINES SUREVYING DATED 12/27/21



PROPOSED 2ND PLAN

SCALE: 1/4" = 1'-0"



PROPOSED 1ST PLAN

SCALE: 1/4" = 1'-0"



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MOUNTAIN VIEW SUBDIVISION

883 MOUNTAIN VIEW DR,
 STONE MOUNTAIN,
 GA 30083

PRINTED

REVISIONS

PROJECT No. 21021

Drawn By AA

Checked By AM

Drawing Title

DATE 09/12/2021

TYPE "B"
 FLOOR PLAN

Sheet No.

NOT ISSUE FOR CONSTRUCTION



TYPE C

PROJECT DATA
FIRST FLOOR HEATED AREA: 830 SQ.F.
2ND FLOOR HEATED AREA: 812 SQ.F.
GARAGE AREA: 423 (±) SQ.F.
REAR OPEN PATIO: 210 (±) SQ.F.
FRONT COVERED PATIO: 54 (±) SQ.F.

GENERAL NOTES:

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2. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS ON-SITE AS NOTED ON THE PLANS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
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GENERAL NOTES:

- 1) ALL INFORMATION SHALL BE IN CONFORMANCE WITH THE CURRENT ZONING ORDINANCE REQUIREMENTS UNLESS NOTED OTHERWISE.
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- 3) SURVEY INFORMATION WAS TAKEN FROM PLANS PREPARED BY FRONTLINES SUREVYING DATED 12/27/21



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Drawn By AA

Checked By AM

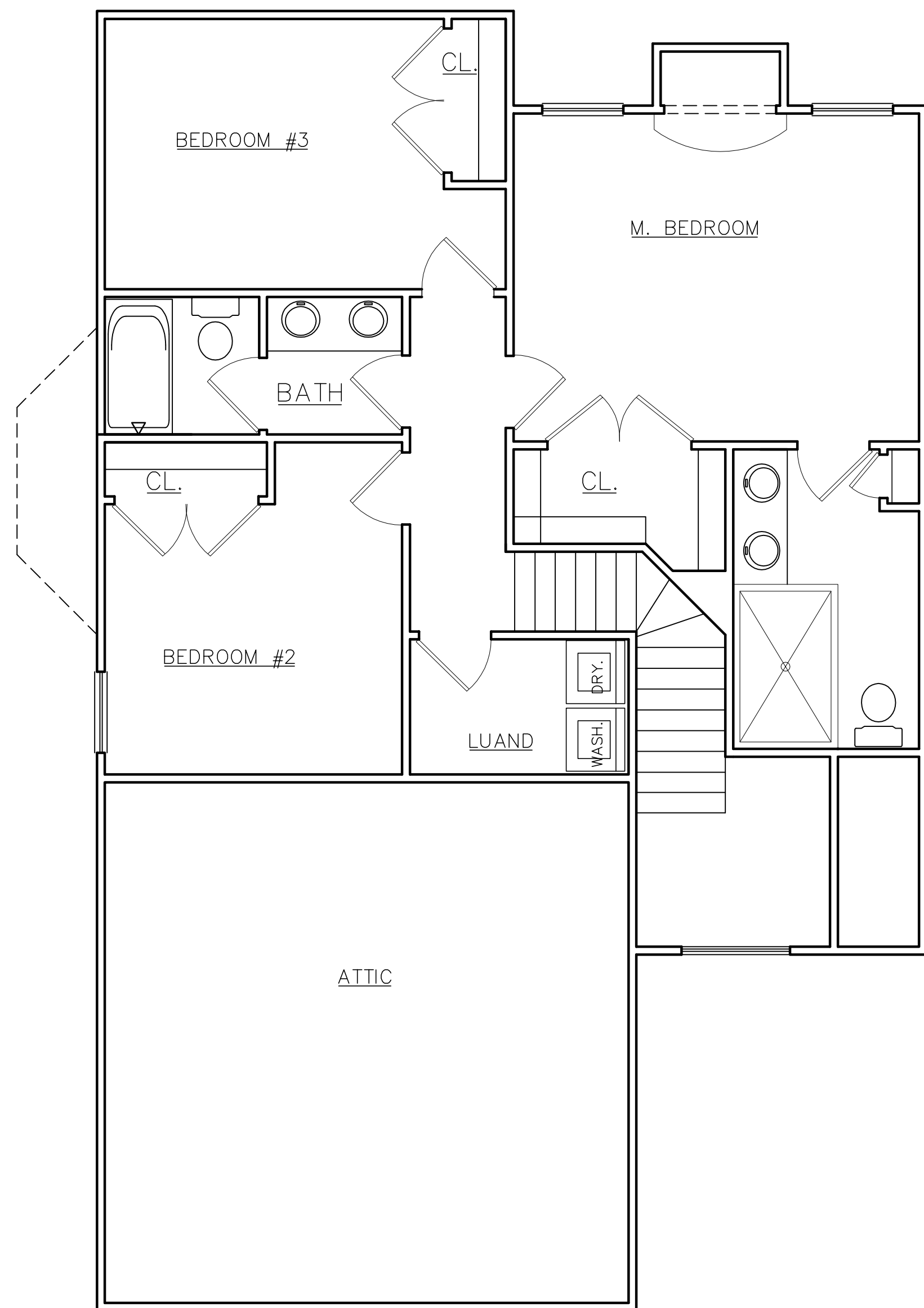
Drawing Title

DATE 09/12/2021

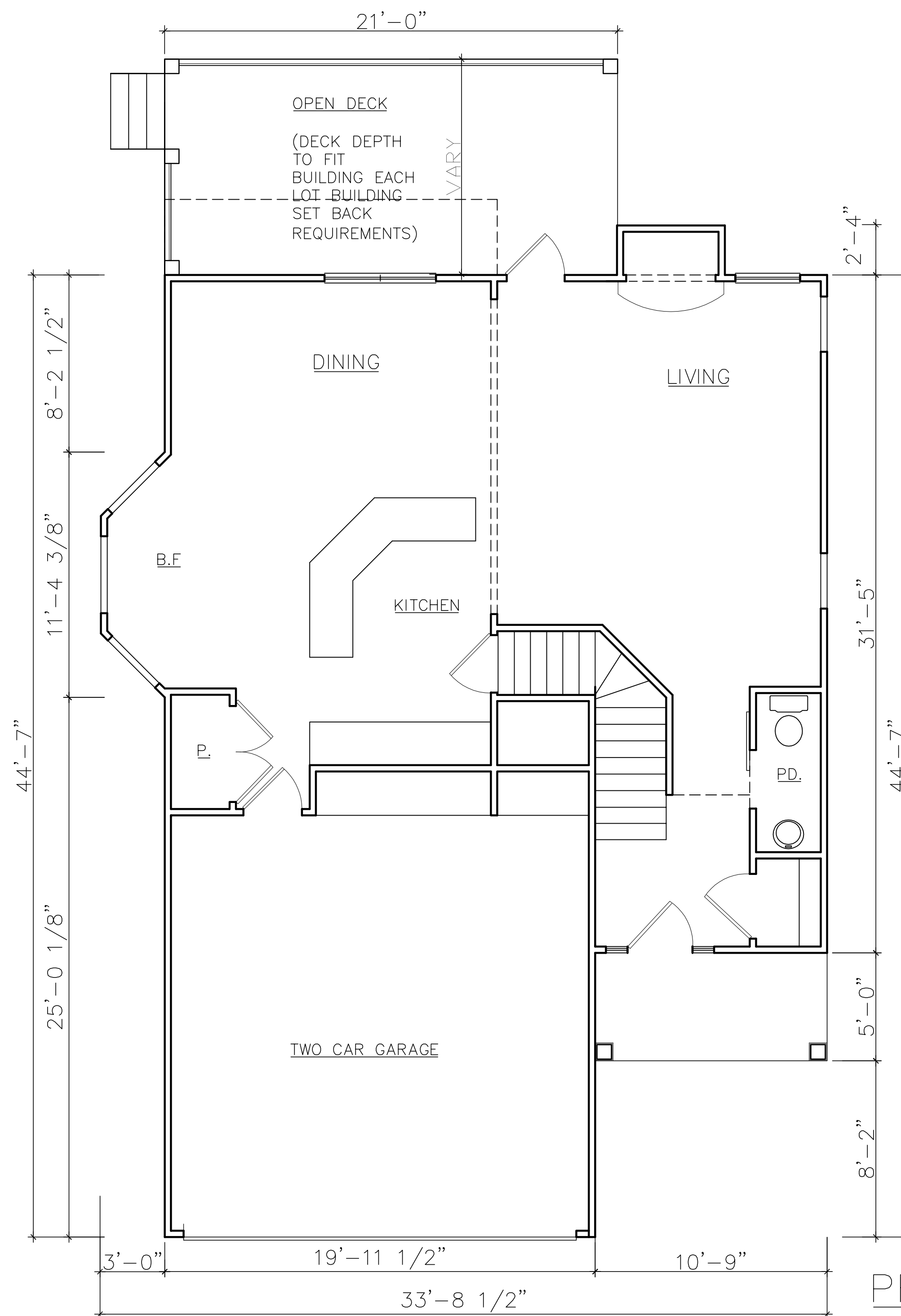
TYPE "C" FLOOR PLAN

Sheet No.

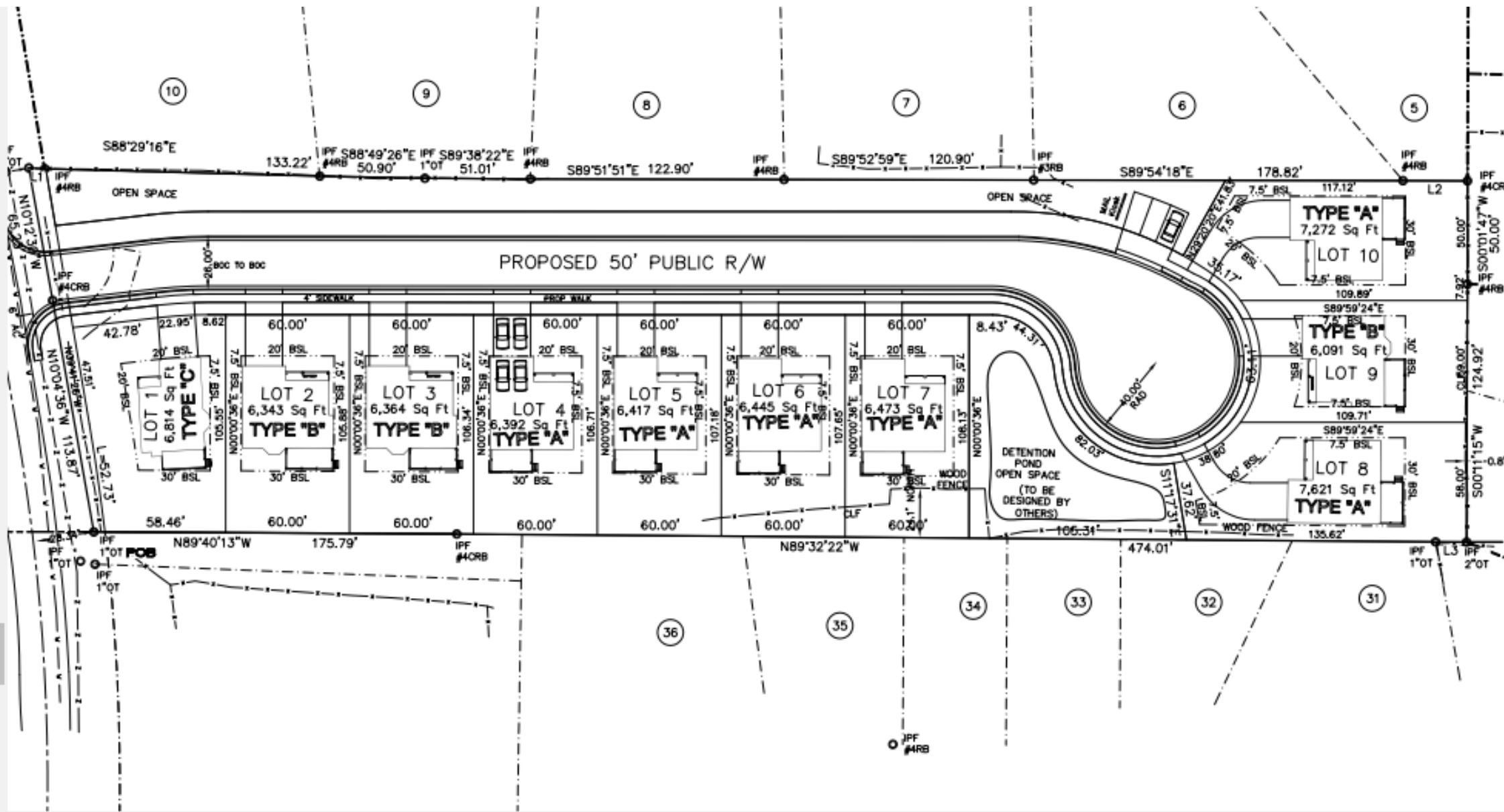
NOT ISSUE FOR CONSTRUCTION



PROPOSED 2ND PLAN
 SCALE: 1/4" = 1'-0"



PROPOSED 1ST PLAN
 SCALE: 1/4" = 1'-0"



10

9

8

7

6

5

S88°29'16"E

133.22'

IPF #4RB S88°49'26"E 50.90' 1°01' 51.01'

S89°51'51"E 122.90'

IPF #4RB

S89°52'59"E 120.90'

IPF #3RB

S89°54'18"E

178.82'

IPF #4RB

OPEN SPACE

OPEN SPACE

PROPOSED 50' PUBLIC R/W

TYPE "A"
7,272 Sq Ft
LOT 10

TYPE "B"
6,091 Sq Ft
LOT 9

TYPE "A"
7,621 Sq Ft
LOT 8

LOT 1
TYPE "C"
6,814 Sq Ft

LOT 2
TYPE "B"
6,343 Sq Ft

LOT 3
TYPE "B"
6,364 Sq Ft

LOT 4
TYPE "A"
6,392 Sq Ft

LOT 5
TYPE "A"
6,417 Sq Ft

LOT 6
TYPE "A"
6,445 Sq Ft

LOT 7
TYPE "A"
6,473 Sq Ft

DETECTION POND
OPEN SPACE
(TO BE DESIGNED BY OTHERS)

N89°40'13"W

175.79'

N89°32'22"W

474.01'

135.62'

36

35

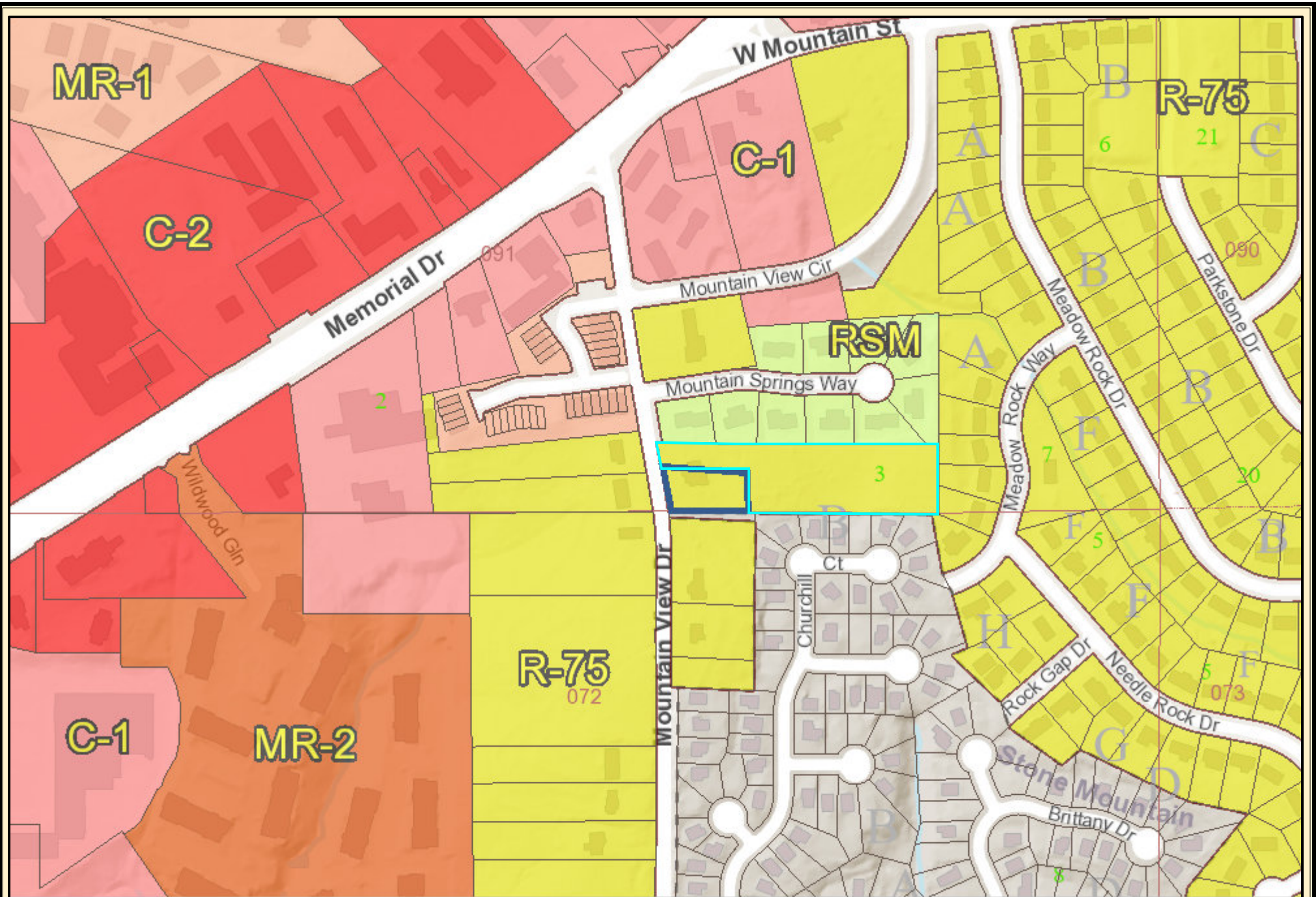
34

33

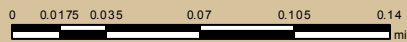
32

31

IPF #4RB



DeKalb County Zoning Map

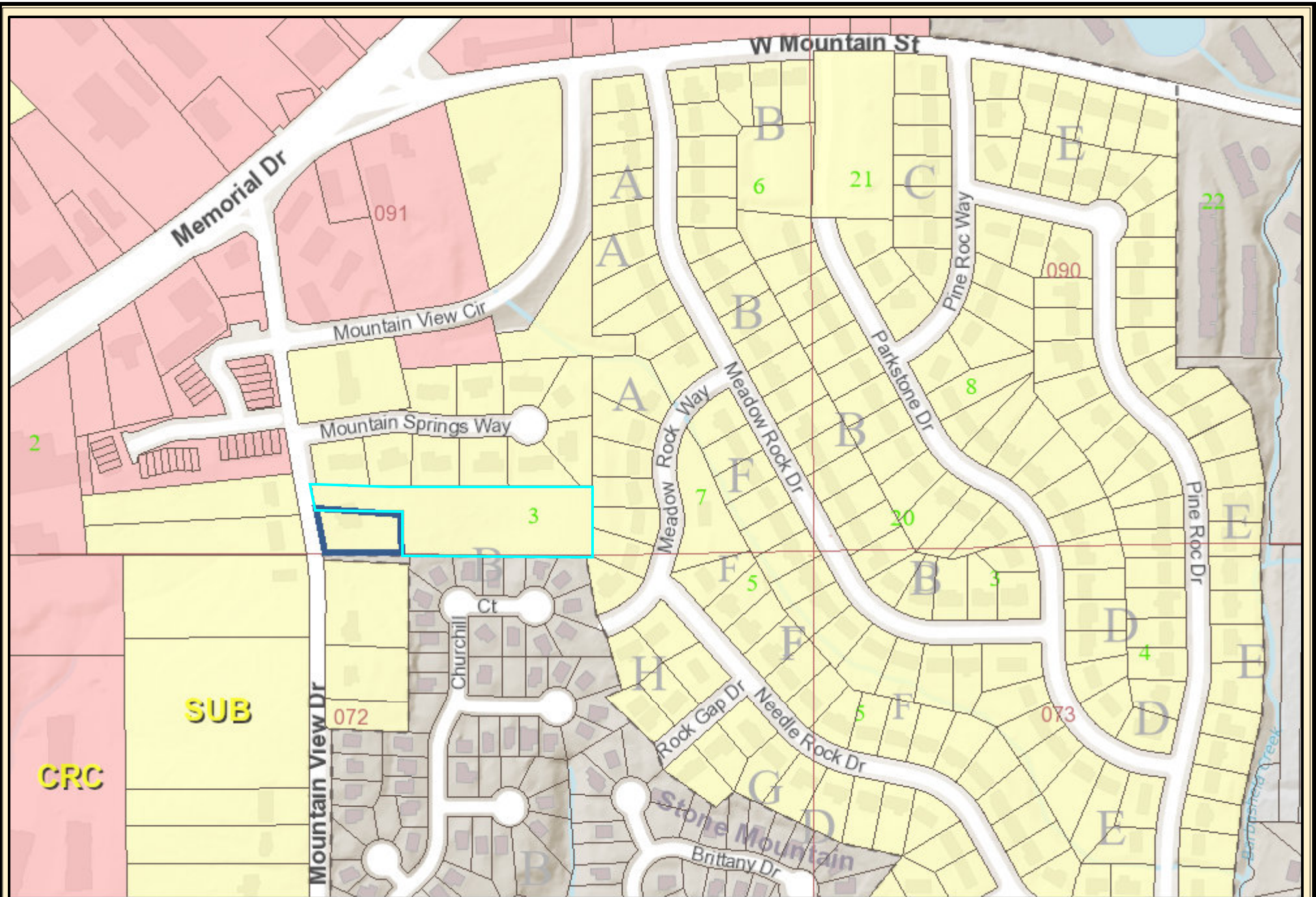


Date Printed: 8/4/2022

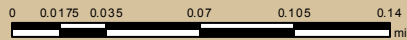


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DeKalb County Land Use Map

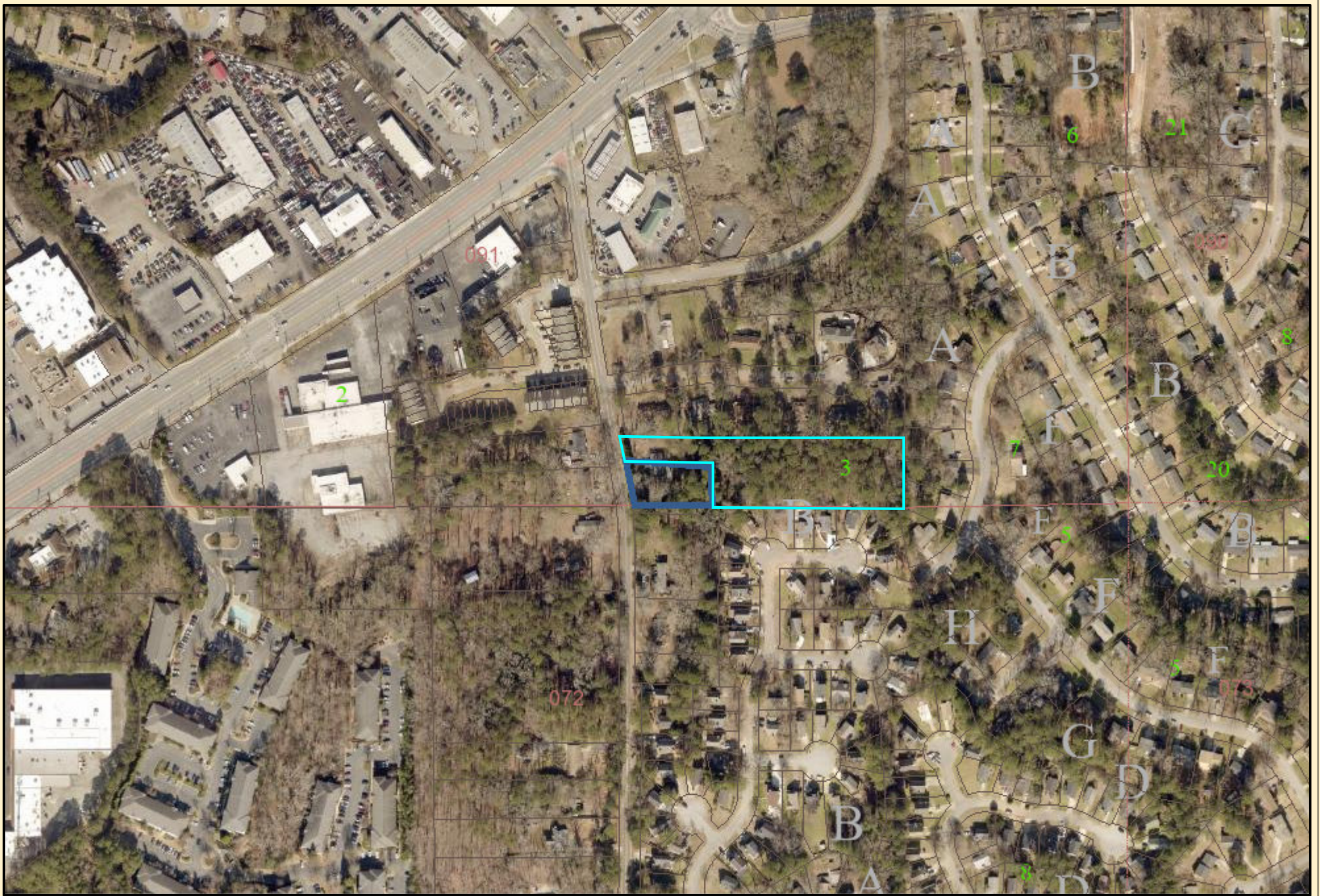


Date Printed: 8/4/2022

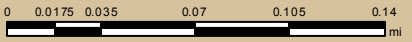


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DeKalb County Aerial Map



Date Printed: 8/4/2022



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Chief Executive Officer
Michael Thurmond

DEPARTMENT OF PLANNING & SUSTAINABILITY

Director
Andrew A. Baker, AICP

PRE-APPLICATION FORM

REZONE, SPECIAL LAND USE PERMIT, MODIFICATION, AND LAND USE

(Required prior to filing application: signed copy of this form must be submitted at filing)

Applicant Name: c/o Josh Mahoney, Battle Law
El Amar Engineering Phone: 4/601-7616 Email: btb@battlelawpc.com

Property Address: 883, 875 Mountain View Drive, Stone Mt. 30083

Tax Parcel ID: 18-091-03-006 Comm. District(s): 457 Acreage: 2.74
" " " -042

Existing Use: _____ Proposed Use S-F detached homes

Supplemental Regs: _____ Overlay District: _____ DRI: _____

Rezoning: Yes No _____

Existing Zoning: R-75 Proposed Zoning: R-60 Square Footage/Number of Units: _____

Rezoning Request: Rezone from R-75 to R-60 for development of
ten s-f detached homes.

Land Use Plan Amendment: Yes _____ No

Existing Land Use: SUB Proposed Land Use: _____ Consistent Inconsistent _____

Special Land Use Permit: Yes _____ No _____ Article Number(s) 27- _____

Special Land Use Request(s) _____

Major Modification: NO

Existing Case Number(s): _____

Condition(s) to be modified:

DEPARTMENT OF PLANNING & SUSTAINABILITY

WHAT TO KNOW BEFORE YOU FILE YOUR APPLICATION

Pre-submittal Community Meeting: Review Calendar Dates: PC: BOC:
 Letter of Intent: Impact Analysis: Owner Authorization(s): Campaign Disclosure:
 Zoning Conditions: Community Council Meeting: Public Notice, Signs:
 Tree Survey, Conservation: Land Disturbance Permit (LDP): Sketch Plat:
 Bldg. Permits: Fire Inspection: Business License: State License:
 Lighting Plan: Tent Permit: Submittal Format: **NO STAPLES, NO BINDERS PLEASE**

Review of Site Plan

Density: Density Bonuses: Mix of Uses: Open Space: Enhanced
 Open Space: Setbacks: front sides side corner rear Lot Size:
 Frontage: Street Widths: Landscape Strips: Buffers:
 Parking Lot Landscaping: Parking - Auto: Parking - Bicycle: Screening:
 Streetscapes: Sidewalks: Fencing/Walls: Bldg. Height: Bldg.
 Orientation: Bldg. Separation: Bldg. Materials: Roofs: Fenestration:
 Façade Design: Garages: Pedestrian Plan: Perimeter Landscape Strip:
 Possible Variances: None identified at this time.

Comments:

Planner: Melora Furman Date 5/10/22

Filing Fees

REZONING:	RE, RLG, R-100, R-85, R-75, R-60, MHP, RSM, MR-1	\$500.00
	RNC, MR-2, HR-1, HR-2, HR-3, MU-1, MU-2, MU-3, MU-4, MU-5	\$750.00
	OI, OD, OIT, NS, C1, C2, M, M2	\$750.00
LAND USE MAP AMENDMENT		\$500.00
SPECIAL LAND USE PERMIT		\$400.00