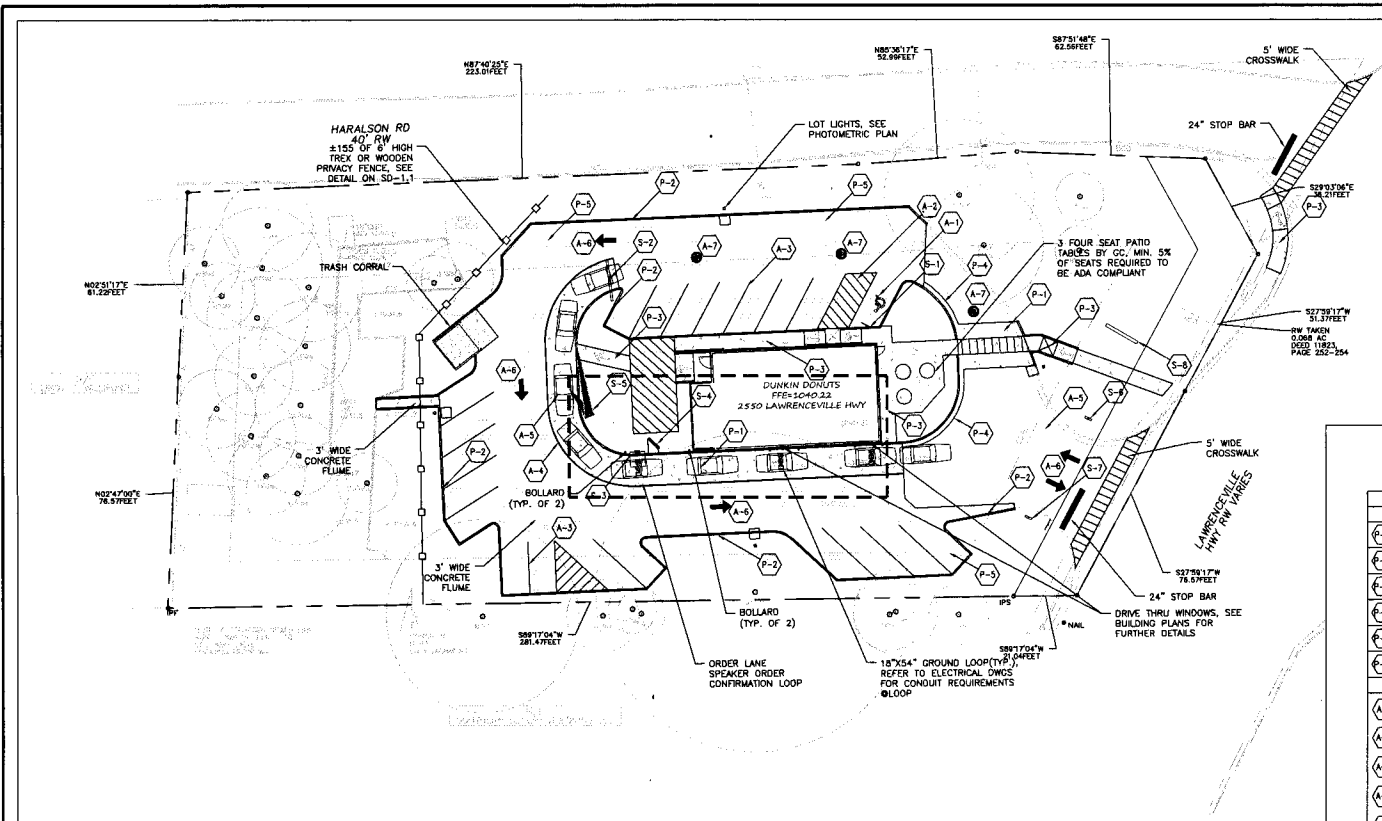


2020-0314
NS

Substitute Conditions SLUP-20-1243837

June 18, 2020

1. That the proposed restaurant with a drive-through lane shall be in substantial compliance with the site plan received by the Department of Planning and Sustainability dated 06/18/2020 and labeled Exhibit A. Said site plan is subject to compliance with C-1 (Local Commercial) zoning standards and the supplemental regulations for a drive-thru which among other requirements require downward facing lighting and speaker boxes directed away from residential properties. The site plan does not include pedestrian lighting and sidewalks along Haralson Drive.
2. Approval is conditioned upon the implementation and maintenance of the attached landscape plan dated 6/18/2020 and labeled Exhibit B. During the demolition, site development and construction phases, chain link fencing shall be erected around the 53-inch oak tree on the southern side of the property.
3. That there shall be no curb cuts on Haralson Road.
4. A 50-foot transitional buffer is required and shall be maintained along the western boundary line of the site and shall adhere to the buffer planting and materials requirements as shown in Section 5.4.5 of the DeKalb County Zoning Ordinance.
5. Signage on Lawrenceville Highway shall be limited to one pole sign. The existing sign shall be refaced and repainted as depicted in the attached document labeled as Exhibit C, Titled Option B and dated June 3, 2020. There shall be signage on Haralson Drive.
6. The approval of this SLUP application by the Board of Commissioners has no bearing on the requirements for other regulatory approvals under the Zoning Board of Appeals, or other entity.



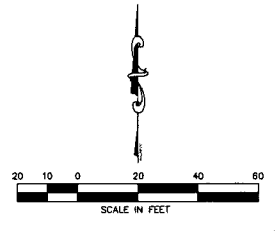
SITE DATA		
STREET LOCATION: 2550 LAWRENCEVILLE HWY, DECATUR, GA 30033		
CURRENT SITE AREA: 1.09 AC. (47,492 SF)		
CURRENT ZONING: C-1 COMMERCIAL		
BUILDING TYPE: EXISTING (1,987 GROSS SQ.FT.)		
ZONING REQUIREMENTS	REQUIRED	PROPOSED
BUILDING SETBACKS		
FRONT	60'	>60'
LEFT SIDE	20'	>20'
RIGHT SIDE	50'	>50'
REAR	30'	>30'
PARKING STALL SIZE (60 DEGREE)	9'x17'	9'x17'
DRIVE AISLE WIDTH		
ONE WAY (60' PARKING)	14'	>14'
ONE WAY (90' PARKING)	24'	24'
PARKING (SEE BELOW)		
RESTAURANT:		
MINIMUM = 4 SPACE/150 S.F.	14	21
MAXIMUM = 1 SPACE/75 SF	27	
BUILDING HEIGHT	TBD	21'-10"
OPEN SPACE	MIN. 20%	58.2%

PROPOSED CONCRETE CURBS/GUTTERS, PAVES AND PAVING ON SITE		
DESCRIPTION	SPECIFICATION	QTY.
(P-1)	CONCRETE PAVEMENT REFER TO GEOTECH. REPORT FOR PAVEMENT SECTION AND SUBBASE	2,125 SF
(P-2)	STANDING CURB REFER TO GEOTECH. REPORT FOR CONCRETE STRENGTH AND SUBBASE	900 LF
(P-3)	CONCRETE SIDEWALK & PATIO REFER TO GEOTECH. REPORT FOR PAVEMENT SECTION AND SUBBASE	1,600 SF
(P-4)	18" CURB & GUTTER REFER TO GEOTECH. REPORT FOR CONCRETE STRENGTH AND SUBBASE	60 LF
(P-5)	ASPHALT PAVEMENT REFER TO GEOTECH. REPORT FOR PAVEMENT SECTION AND SUBBASE	11,800 SF
(P-6)	CONCRETE PATIO REFER TO GEOTECH. REPORT FOR PAVEMENT SECTION AND SUBBASE	280 SF

STRIPING LEGEND		PROPOSED SIGNS	
(A-1)	ADA ACCESSIBLE STALL WHITE STRIPING W/B/LUE SYMBOL PER ADA REQUIREMENTS	(S-1)	BOLLARD MOUNTED MUTED SIGN R7-8 & R7-8a - ADA WAA ACCESSIBLE HANDICAP PARKING
(A-2)	HANDICAP ACCESSIBLE AISLE-4" WHITE STRIPES @ 45, 2' O.C.	(S-2)	WELCOME POINT BRANDED GATEWAY WITH HEIGHT LIMITATION BAR
(A-3)	4" WHITE PARKING STRIPE OR STRIPED AREA - 4" WHITE STRIPES @ 45, 2' O.C.	(S-3)	ORDER POINT & CANOPY
(A-4)	6" ORANGE DRIVE-THRU STRIPE	(S-4)	DIGITAL MENU BOARD
(A-5)	ORANGE "DRIVE-THRU" W/ARROW PAVEMENT MARKING	(S-5)	DIGITAL PREVIEW BOARD
(A-6)	WHITE INGRESS/EGRESS ARROWS	(S-6)	DIRECTIONAL SIGN DD "WELCOME BACK"/"ENTER"
(A-7)	ORANGE BRANDED ARROW GRAPHIC	(S-7)	DIRECTIONAL SIGN DD "SEE YOU SOON" / "EXIT"
		(S-8)	REFRESH EXISTING ROAD SIGN - SIGN DESIGN BY OTHERS

GENERAL NOTES:

- THE MAJOR ROAD SIGNS AND BASES AND ALL INSTALLATION IS PART OF THE SIGN CONTRACTOR'S PACKAGE. CONDUIT AND WIRE TO THE SIGNS INSTALLED BY GC AND COST PAID BY THE OPERATOR.
- ENTRANCE AND EXIT SIGNS, DRIVE-THRU MENU BOARDS AND FLAGPOLES, INCLUDING THE INSTALLATION, ARE PART OF THE SIGN CONTRACTOR'S PACKAGE. BASES AND WIRING TO THE SIGNS AND CONDUIT ARE INSTALLED BY GC AND COSTS PAID BY THE OPERATOR.
- LOT LIGHTING SUPPLIER NOTE: LIGHT FOR AMERICAN FLAG ILLUMINATION TO BE LOCATED ON BUILDING NEAR THE FLAG WHEN REQUIRED.
- BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY OTHERS.
- PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND/BREAK.
- FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.
- ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
- ALL CONCRETE WALKS TO BE 4" THICK AND BROOM FINISHED.
- BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
- ANY WORK PERFORMED IN THE STATE R.O.W. SHALL BE PER DOT GUIDELINES AND STANDARD SPECIFICATIONS.
- ALL EXPOSED CONCRETE CORNERS TO BE CHAMFERED AND/OR TO HAVE RADIUS.
- ALL EXPOSED CONCRETE CURBS, SIDEWALK SLABS, PAVEMENT AND FOUNDATIONS SHALL BE TREATED WITH AN AQUARON CONCRETE TREATMENT AS MANUFACTURED BY AQUARON, OR APPROVED EQUIVALENT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF ANY REMAINING SITE IMPROVEMENTS PRIOR TO CONSTRUCTION.
- ALL JOINTS WHERE NEW PAVEMENT ADJOINS EXISTING PAVEMENT SHALL BE SAW CUT, TO INSURE A STRAIGHT CLEAN LINE, OR WILL BE CARRIED TO THE NEXT EXPANSION JOINT ON DOT R.O.W. WHERE FEASIBLE.
- ALL CURB RADIUS 5' UNLESS NOTED OTHERWISE.
- ALL CURB FACES AND PAVEMENT ELEVATIONS SHALL MATCH ADJOINING CURBING AND PAVEMENT EXACTLY.
- STABILIZE AND GRASS ALL SLOPES TO PREVENT EROSION AND SOO OR HYDRO-SEED SLOPES OVER 2:1 UNLESS OTHER WISE SPECIFIED. SEE GRADING PLAN.
- ALL DIMENSIONS ARE GIVEN TO THE FACE OF CURB.
- CONTRACTOR TO USE TOPOGRAPHIC SURVEY IN CONJUNCTION WITH THIS SITE PLAN FOR LOCATION AND SIZES OF EXISTING FEATURES.
- PROJECT SITE IS OUTSIDE OF THE 100 YEAR FLOODPLAIN AND IN ZONE X PER FEMA FLOOD MAP 13088C0059K AND DATED 5/15/2019.



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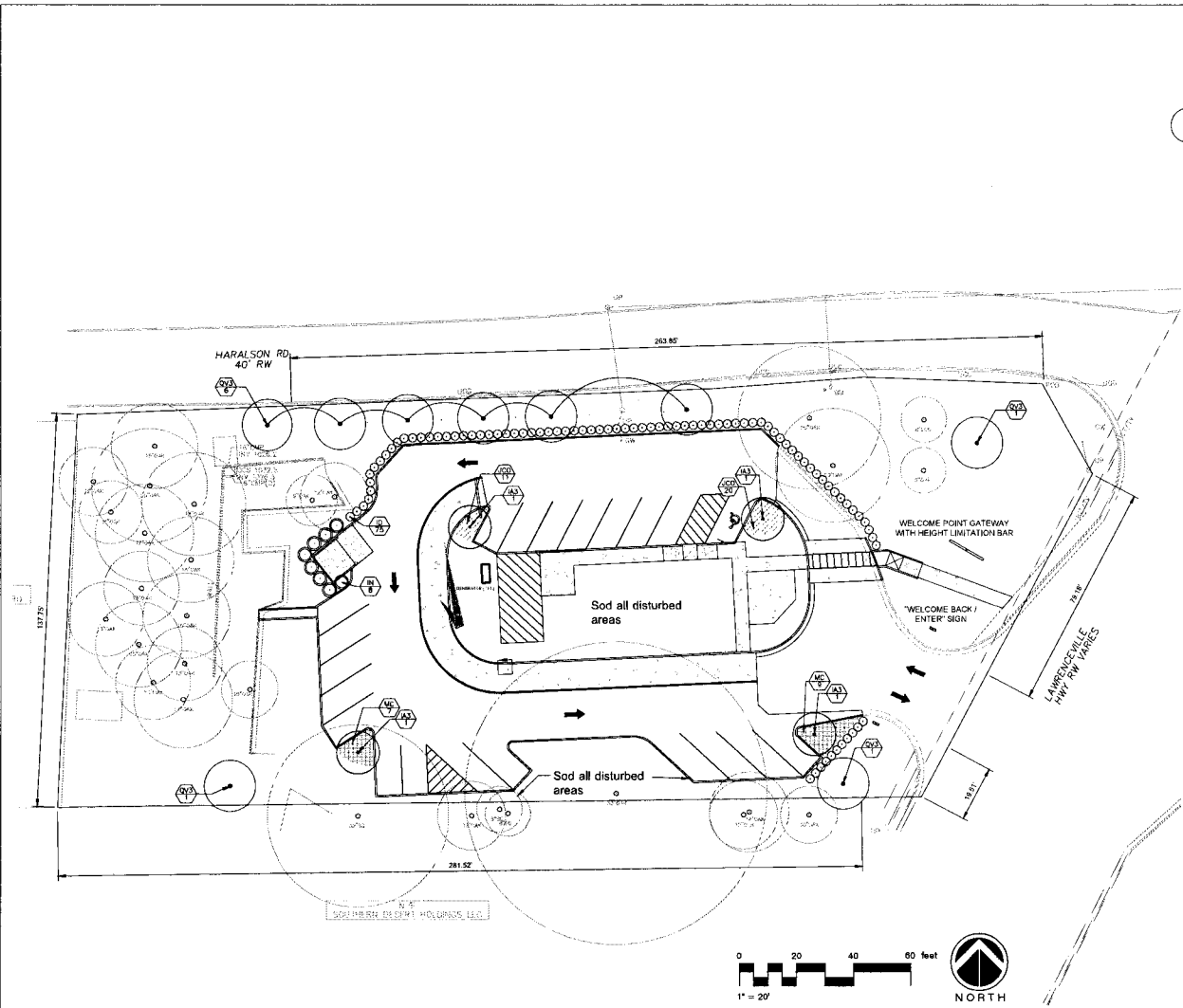
AI'S INFRASTRUCTURE
 111 CAMDEN DRIVE, SUITE 100
 ALPHARETTA, GEORGIA 30706
 PHONE: 770.233.8888

SITE PLAN
DUNKIN' DONUTS
 2550 LAWRENCEVILLE HWY, DECATUR, GA 30033
DUNKIN' DONUTS

PROJECT NO.:	PROJ. WDR.:
DATE:	ORNL. BY:
SCALE:	CHKD. BY:
DRAWING SERIES:	
SHEET NO.:	

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SPACING
	IA3	4	Ilex x attenuata 'East Pointka' / East Pointka Holly 10' - 12' HEIGHT, 4' SPREAD MIN., 3" CAL., 6 & 8	
	QV3	9	QUERCUS VIRGINIANA / LIVE OAK 14' - 18' HEIGHT, 6' - 8' SPREAD MIN., 3" CAL., 100 GAL. OR B&B	
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SPACING
	ID	86	Ilex cornuta 'Dwarf Burford' / Dwarf Burford Holly 18"-24" ht. x 12"-18" spd., 3 gal.	36" o.c.
	IN	8	Ilex x 'Nellie R Stevens' / Nellie Stevens Holly 4'-6" ht. x 3'-4" spd. full specimen	60" o.c.
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	SPACING
	JCO	31	Juniperus conferta 'Blue Pacific' / Blue Pacific Juniper 7" HEIGHT, 18" - 20" SPREAD, 3 GAL.	30" o.c.
	MC	16	Muhlenbergia capillaris / Pink Muhly	48" o.c.



4				
3				
2	1-14-20	CH, WH, P, Front of Bld.		
1	2-26-20	Rev. per. Ch. Comments	DESCRIPTION	REVISIONS
NO.	DATE			

4				
3				
2	1-14-20	CH, WH, P, Front of Bld.		
1	2-26-20	Rev. per. Ch. Comments	DESCRIPTION	REVISIONS
NO.	DATE			



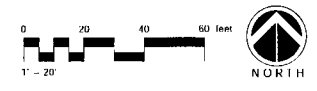
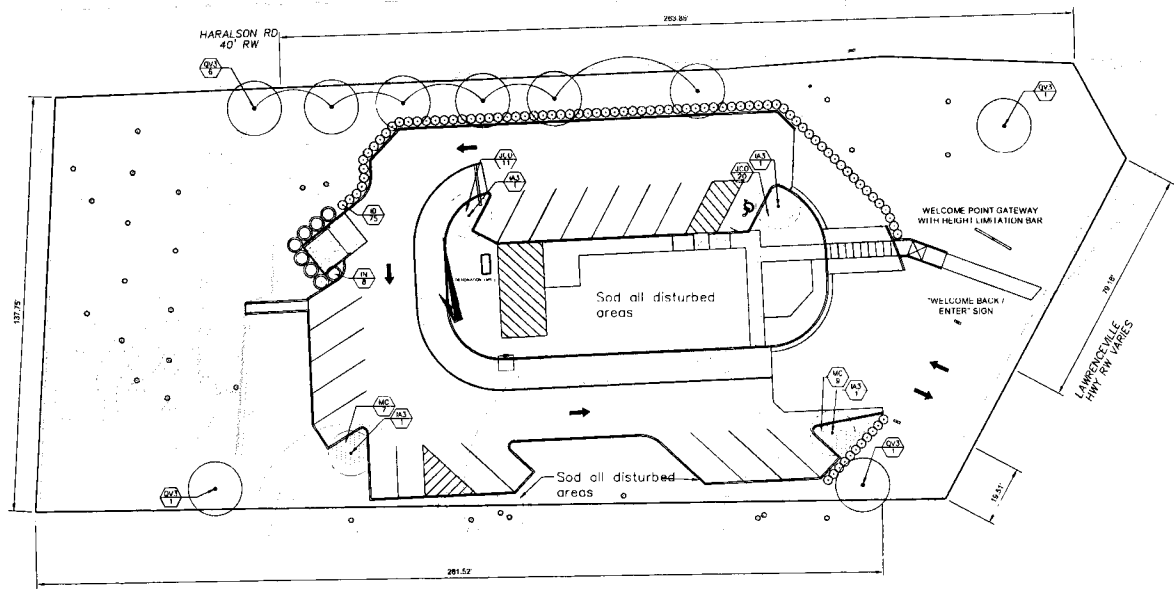
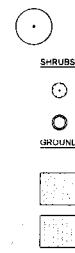
DESIGNED TITLE:	LANDSCAPE PLAN
PROJECT NAME:	DUNKIN DONUTS
CLIENT:	DUNKIN DONUTS

PROJECT NO.:	PROJ. MGR.:
DATE:	DW
02/26/20	JOV
SCALE:	CHKD BY:
AS NOTED	TC
DRAWING SERIES:	LANDSCAPE
SHEET NO.:	L-1.1

DATE _____

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SPACING
	MA3	4	Ilex x attenuata 'East Palatka' / East Palatka Holly 10' - 12' HEIGHT, 4' SPREAD MIN. 3" GAL., B & B	
	OV3	8	QUERCUS VIRGINIANA / LIVE OAK 4' - 16' HEIGHT, 6' - 8' SPREAD MIN. 3" GAL., 100 GAL. OR B&B	
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SPACING
	IS	86	Ilex cornuta 'Dwarf Burford' / Dwarf Burford Holly 18"-24" Ht. x 12"-18" spd. 3 gal.	35" o.c.
	IN	8	Ilex x 'Nellie R. Stevens' / Nellie Stevens Holly 4'-8" Ht. x 3'-4" spd. full specimen	60" o.c.
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	SPACING
	JCO	31	Juniperus conferta 'Blue Pacific' / Blue Pacific Juniper 7' HEIGHT, 18" - 20" SPREAD, 3 GAL.	30" o.c.
	MC	16	Muhlenbergia capillaris / Pink Muhly	48" o.c.

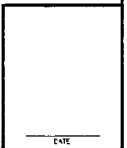


4					
3					
2	6-18-20	07g	max. 0	1000' of Bar	
1	2-24-20			Rev. 01 Comments	
NO.	DATE	REV.	BY	DESCRIPTION	REVISIONS



PROJECT TITLE:	LANDSCAPE PLAN
PROJECT NAME:	DUNKIN DONUTS
SHEET:	DUNKIN DONUTS


PROJECT NO.:	PROJ. WKT.:
DATE:	02/26/20
SCALE:	AS NOTED
DRAWING SERIES:	LANDSCAPE
SHEET NO.:	L-1.1

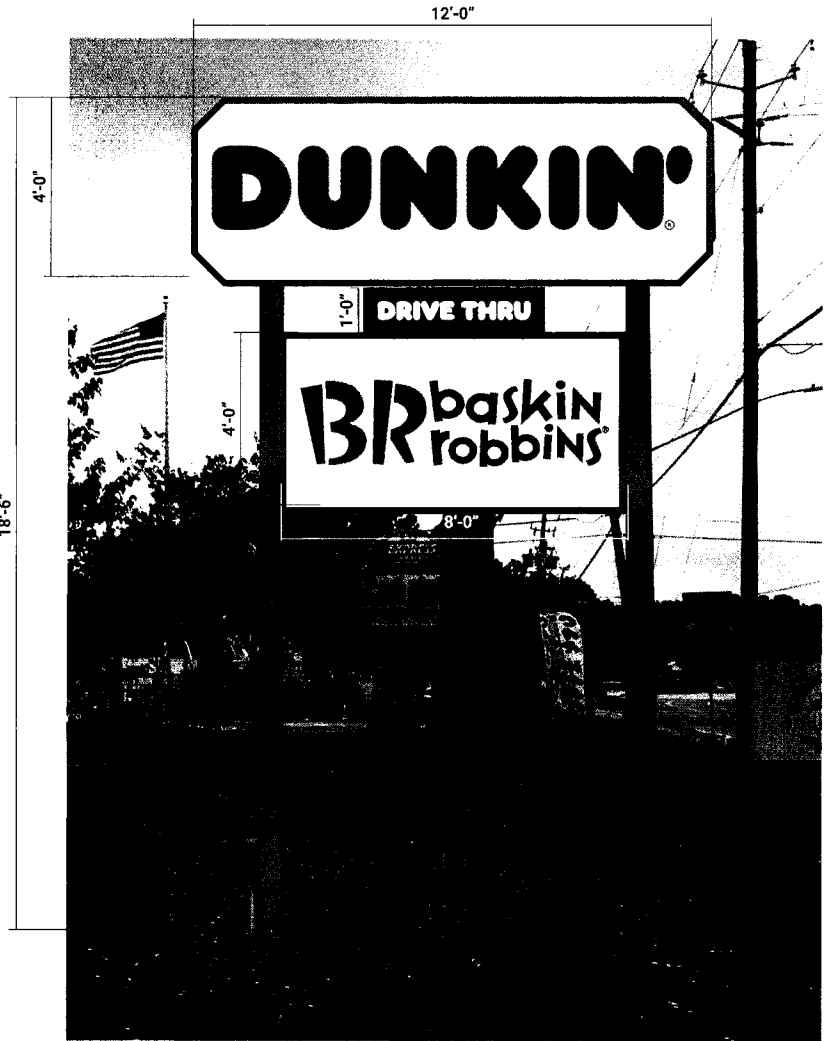


OPTION B - REFACE AND REPAINT EXISTING DOUBLE SIDED PYLON

SIGN AREA CALCULATIONS
 REFACE EXISTING SIGN
 OVERALL SIGN AREA = 84 SF
 SIGN STRUCTURE HEIGHT = 18'-6"



 **FIELD SURVEY REQUIRED
 PRIOR TO FABRICATION
 OF FACES TO VERIFY
 DIMENSIONS**



SCALE: 3/8" = 1'-0"



SIGN LOGISTICS
 PERMIT - DESIGN - CONSOLE

33 Dennis Circle
 Dallas GA 30132
 PHONE: 404-219-0445

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CLIENT:
 ZSC ENTERPRISES, LLC

PROJECT NAME:
 DUNKIN|BASKIN ROBBINS

PROJECT ADDRESS:
 2550 LAWRENCEVILLE HWY.
 DECATUR GA

PROJECT #:1021

PROJECT MANAGER:
 SW

DRAWN BY:
 SW

DATE:06/03/20

REVISIONS:
 0 date: 00/00/00 by:

DRAWING:

PAGE: 1 of 4

APPROVAL:

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