



DeKalb County Department of Planning & Sustainability

**330 Ponce De Leon Avenue, Suite 300
Decatur, GA 30030
(404) 371-2155 / www.dekalbcountyga.gov/planning**

Michael Thurmond
Chief Executive Officer

**Planning Commission Hearing Date: March 1, 2022, 5:30 P.M.
Board of Commissioners Hearing Date: March 24, 2022, 5:30 P.M.
Deferred from 11/18/21**

**MAJOR MODIFICATION – CHANGE OF CONDITIONS
STAFF ANALYSIS**

Case No.: CZ-21-1245061 **Agenda #:** D.1

Location/Address: 3458 Mountain Drive, Decatur, GA **Commission District:** 4 **Super District:** 6

Parcel ID: 15-251-01-020, -027, -028

Request:
A Major Modification of the conditional site plan and other conditions of MU-5 (Mixed Use Very High Density) zoning approved pursuant to CZ-18-22125, to change the mixture of multifamily, office, and retail land uses, and to revise the single-family detached and townhome exterior designs.

Property Owner: Avondale Park, LLC

Applicant/Agent: Avondale Park, c/o Battle Law, LLC

Acreage: 9.30

Existing Land Use: Cleared for development. Road and underground infrastructure is installed.

Surrounding Properties:
To the northwest, north, and northeast: the Oak Creek Apartment Homes; to the east: the DeKalb County Tax Commissioner’s Office; to the southeast: DeKalb County Juvenile Court; to the south and southwest: the Park Plaza office park; to the west: the Farrar Court single-family subdivision.

Comprehensive Plan: **Consistent** **Inconsistent**

Proposed Density: 22.47 units/acre	Existing Density: N.A.
Proposed Units/Building Square Ft.: 209 units	Existing Units/Building Square Feet: N.A.
Proposed Lot Coverage: varies by land use type; Proposed Open Space: 22%.	Existing Lot Coverage: N.A.

Update: The applicant has requested withdrawal of the modification of the non-residential component of the proposed mixed-use development.

Zoning History: The subject property was rezoned from R-75 to C-1 in 1985. The 2015 proposal rezoned the property from C-1 (Local Commercial) to PC-3 (Pedestrian Community). PC-3 was converted to MU-5 when the zoning map was updated in September 2015.

In 2015, the Board of Commissioners approved a redevelopment proposal for the site, pursuant to CZ-15-19943, which consisted of 11 single-family lots, 35 townhome units, 60 multifamily residential units, 149,000 square feet of office space, and 35,700 square feet of retail space.

In 2018, the Board of Commissioners approved a major modification to the project (CZ-18-22125) that reduced the number of single-family detached homes, increased the number of single-family attached units, and removed multifamily units from the project. The office and retail components stayed at the same square footages. Modifications to building materials, landscaping, and building heights were granted.

PROJECT ANALYSIS

The proposal under consideration was submitted with the purposes of modifying the non-residential component of the 2018 plan. Three non-residential buildings located at the southern end of the site, where the property fronts on Mountain Drive, were combined into one building, and the uses of the buildings were changed from office and retail to live-work use on four floors and retail and service use on the ground floor. There would be 140 live-work units. In addition, the applicant proposed to modify the elevations of the single-family attached and single-family detached units. According to the applicant, the elevations that were approved with the 2018 proposal were designed by a company that is no longer in business.

Because the applicant has requested withdrawal of the modification of the non-residential component of the proposed mixed-use development, the following land use analysis will address only modification of the residential elevations.

LAND USE AND ZONING ANALYSIS

Section 27-832 of the Zoning Ordinance, "Standards and factors governing review of proposed amendments to the official zoning map" states that the following standards and factors shall govern the review of all proposed amendments to the zoning maps.

A. Whether the zoning proposal is in conformity with the policy and intent of the comprehensive plan:

Modification of the residential elevations will enable the applicant to proceed with the residential portion of an application that was deemed by the Board of Commissioners to be consistent with the policies of the Comprehensive Plan.

B. Whether the zoning proposal will permit a use that is suitable in view of the use and development of adjacent and nearby properties:

The front elevations of the residential buildings will not be visible from adjoining properties. The rear elevations of the townhomes

C. Whether the property to be affected by the zoning proposal has a reasonable economic use as currently zoned:

This consideration is not applicable to the zoning proposal under consideration in this analysis because it does not involve a change in the zoning classification of the property.

D. Whether the zoning proposal will adversely affect the existing use or usability of adjacent or nearby property:

Modification of the townhome and single-family residential elevations will not adversely affect the use or usability of adjacent or nearby property.

E. Whether there are other existing or changing conditions affecting the use and development of the property, which give supporting grounds for either approval or disapproval of the zoning proposal:

Staff is not aware of other conditions that would give supporting grounds for either approval or disapproval of the zoning proposal.

F. Whether the zoning proposal will adversely affect historic buildings, sites, districts, or archaeological resources:

No historic buildings, sites, districts, or archaeological resources are located on the property or in the surrounding area.

G. Whether the zoning proposal will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools:

There is no relationship between the elevations of the residential buildings and the impact of the development on public infrastructure.

H. Whether the zoning proposal adversely impacts the environment or surrounding natural resources:

There is no relationship between the elevations of the residential buildings and the impact of the development on the natural environment and natural resources.

STAFF RECOMMENDATION: WITHDRAWAL OF MODIFICATION OF THE NON-RESIDENTIAL COMPONENT OF THE MIXED USE DEVELOPMENT AND APPROVAL OF THE MODIFICATION TO THE RESIDENTIAL ELEVATIONS.

Modification of the residential elevations will enable the applicant to proceed with the residential portion of an application that was deemed by the Board of Commissioners to be consistent with the policies of the Comprehensive Plan. Modification of the townhome and single-family residential elevations will not adversely affect the use or usability of adjacent or nearby property, the public infrastructure, or the natural environment. Staff concurs with withdrawal of the non-residential portion of the proposed development.

Therefore, the Department of Planning and Sustainability recommends withdrawal of the non-residential portion of the application and approval of modification of the residential elevations, with the previously approved conditions remaining unchanged except for those conditions that pertain to the residential elevations.

ATTACHMENTS:

1. Recommended Zoning Conditions
2. Single-Family House Elevations
3. Townhome Elevations
4. Department and Division Comments
5. Board of Health Comments
6. Board of Education Comments
7. Application
8. Survey (existing conditions)
9. Site Plan
10. Land Use Map
11. Zoning Map
12. Aerial View
13. Site Photos

Recommended Conditions

1. The project site shall be developed in general conformity with the location of streets, land uses and buildings as shown on the site plan "Proposed Development at Avondale Park", prepared by Proterra Development LLC, dated June 13, 2018. A buffer with a depth of 10 to 20 feet shall be provided between the proposed alley ("Catalan Circle") of the proposed townhomes and the western property line (abutting the Farrar Court single-family subdivision) as shown on the aforementioned site plan. Existing trees within the transitional buffer shall be preserved and supplemented with new trees to form an effective visual screen as approved by the County Arborist. Invasive species such as bamboo may be removed from the buffer and additional plantings can be added to form a visual screen. Where invasive species are removed from the buffer, special consideration shall be given to prevent erosion and sedimentation during construction. A screen shall be installed along the entire length of the west property line and at the rear property lines of the single-family homes along the east property line, which shall consist of 1) an opaque fence with the finished side facing outwards and with a height of a minimum of six feet and 2) sufficient numbers of the following trees to provide a solid screen at maturity: arbor vitae, cryptomeria, or giant arbor vitae.
2. The landscape plan shall be in substantial compliance to Exhibit E Avondale Park and shall comply with Article 5 and Chapter 14 of the DeKalb County Code. If trees are replaced in the buffer, the preferred trees are one of or a combination of white oak, shumard red oak, southern red oak, or northern red oak. These are also the preferred trees for street trees within the development. The final landscaping plan shall be approved by the County arborist and shall take into consideration the recompense required under the tree ordinance. Within the development, street trees may be planted off the right-of-way if they would otherwise interfere with buried utilities. Recompense should take place within the immediate vicinity of the development along Mountain Drive or along Farrar Court.
3. The development shall comply with Sketch Plan requirements for subdivision prior to the issuance of a Land Disturbance Permit.
4. An outdoor lighting plan shall be submitted, reviewed, and approved by the Planning and Sustainability Department for compliance to the regulations of Section 27-5.6.1 of the County Code prior to the issuance of any building permits. The residential fixtures will be the "Savannah" lamp. Drop dish refractors are prohibited.
5. During construction, the Developer shall post a contact phone number that nearby residents can call to discuss development and construction issues. The developer shall use temporary Best Management Practices (BMPs) for run-off and temporary sedimentation storage in compliance with Section 14.38 (Soil Erosion and Sediment Control), subject to approval of the Land Development Division of the Department of Planning and Sustainability. If the Land Development Division determines that the property owners of Farrar Court (in particular those who will not have the benefit of an undisturbed buffer) are susceptible to damage from erosion, the Department may require, at a minimum, additional row(s) of silt fencing and bales of straw to protect the adjacent properties.
6. Provide compliance with Section 14-40 and Section 14-42 of the DeKalb County Code regarding storm water management and water quality control.
7. Open space and park space shall be as shown on the site plan cited in Condition No. 1.
8. The townhomes and single-family detached units shall have a minimum floor area of 1,200 square feet.
9. All residential buildings shall be designed to have a pitched roof.
10. The building materials shall be those listed in Exhibit B Construction Details of CZ-15-19943. Single

family attached townhomes shall be substantially similar in design to those depicted in *Atl T204 Elevation Plans dated 8/12/21, Elevation Plans Front Elevations, Elevation Plans Rear Elevations, and Elevation Plans Side Elevations*. Single-family detached homes shall be similar to those depicted in *Atl E128 and Atl E129*. The facades of the parking decks shall be consistent with the remainder of the building and shall use the same building materials. The side elevations of all single-family attached townhomes and single-family detached homes shall have windows and architectural detailing as required in Section 27-5.7.6(l)(1) of the County Code.

11. Commercial uses shall be limited to those permitted in the NS (Neighborhood Shopping) District. The following uses are prohibited within the Project Site:
 - a. Animal hospital, veterinary clinic, or boarding or breeding kennels
 - b. Convent or monastery
 - c. Private elementary, middle, or high school
 - d. Hotel, motel, extended stay hotel/motel, or boarding or rooming house
 - e. Movie theater or bowling alley
 - f. Farm or garden supply store
 - g. Liquor store, including retail liquor store as accessory use to hotels, motels and high-rise officebuilding
 - h. Adult entertainment establishment or adult service facility
 - i. Nightclubs or late-night establishments
 - j. Coin-operated laundry or dry-cleaning store (specifically excluding dry-cleaning pressing establishments or pick-up stations and coin-operated laundry facilities within the interior of any multifamily apartment building)
 - k. Home appliance repair or service establishment
 - l. Special events facility
 - m. Drive-through facility (other than dry-cleaning pick-up station)
 - n. Pawn shop
 - o. Check cashing establishment
 - p. Place of worship
 - q. Convenience store
 - r. Gas station
12. Maximum building heights of non-residential buildings shall be eight stories. The townhomes along the west side of the site shall be no more than 40 feet high.
13. Subject to Georgia Department of Transportation approval, the developer shall provide a 6-foot wide sidewalk and a 10-foot wide landscape strip within the Mountain Drive right-of-way prior to the issuance of any certificates of occupancy. Within the landscape strip, provide a minimum of one street tree for every 50 feet of street frontage along Mountain Drive or as approved by the County Arborist so long as there is a minimum of seven trees.
14. Refuse areas shall be screened from public streets and shall be fenced or screened with a combination of materials and colors to match building materials of primary buildings.
15. Recycle collection bins shall be provided for the tenants residing in the townhome and multifamily buildings.

16. No direct vehicular access shall be permitted from the subject property to Farrar Court.
17. Secure bicycle storage lockers shall be provided within the parking deck of the stacked flat residential buildings. The space shall be sufficient for a minimum of 20 bikes.
18. No more than one ground sign shall be permitted on the Mountain Drive frontage. The ground sign shall be a monument style sign with a base and framework made of brick or stone and a maximum height of 6 feet.
19. The approval of this rezoning application by the Board of Commissioners has no bearing on the requirements for other regulatory approvals under the authority of the Historic Preservation Commission, the Zoning Board of Appeals, or other entity whose decision should be based on the merits of the application under review by such entity.
20. A sidewalk shall be extended from the east property line of the subject property to the sidewalk stub located approximately 70 feet from the eastern edge of the driveway into the Tax Commissioner's office.
21. In order to save as many significant trees as possible, utilities shall be installed by tunneling under tree roots, subject to approval by the County Arborist.
22. The developer shall have a soil study and a water percolation test performed before clearing trees and shall submit the study and test results to the DeKalb County staff, who shall determine whether the site is suitable for land disturbance.
23. The developer shall notify residents of properties on Farrar Court, by way of mailbox flyers, 24 hours in advance of any blasting.
24. The proposed sidewalk along Mountain Drive shall be completed in the first phase of construction, pending GDOT approval.

NEXT STEPS

Following an approval of this zoning action, one or several of the following may be required:

- **Land Disturbance Permit** *(Required for of new building construction on non-residential properties, or land disturbance/improvement such as storm water detention, paving, digging, or landscaping.)*
- ✓ • **Building Permit** *(New construction or renovation of a building (interior or exterior) may require full plan submittal or other documentation. Zoning, site development, watershed and health department standards will be checked for compliance.)*
- ✓ • **Certificate of Occupancy** *(Required prior to occupation of a commercial or residential space and for use of property for a business. Floor plans may be required for certain types of occupants.)*
- **Plat Approval** *(Required if any parcel is being subdivided, re-parceled, or combined. Issued “administratively”; no public hearing required.)*
- **Sketch Plat Approval** *(Required for the subdivision of property into three lots or more. Requires a public hearing by the Planning Commission.)*
- **Overlay Review** *(Required review of development and building plans for all new construction or exterior modification of building(s) located within a designated overlay district.)*
- **Historic Preservation** *(A Certificate of Appropriateness is required for any proposed changes to building exteriors or improvements to land when located within the Druid Hills or the Soapstone Geological Historic Districts. Historic Preservation Committee public hearing may be required.)*
- **Variance** *(Required to seek relief from any development standards of the Zoning Ordinance. A public hearing and action by the Board of Appeals are required for most variances.)*
- **Minor Modification** *(Required if there are any proposed minor changes to zoning conditions that were approved by the Board of Commissioners. The review is administrative if the changes are determined to be minor as described by Zoning Code.)*
- **Major Modification** *(Required submittal of a complete zoning application for a public hearing if there are any proposed major changes to zoning conditions that were approved by the Board of Commissioner for a prior rezoning.)*
- **Business License** *(Required for any business or non-residential enterprise operating in Unincorporated DeKalb County, including in-home occupations).*
- **Alcohol License** *(Required permit to sell alcohol for consumption on-site or packaged for off-site consumption. Signed and sealed distance survey is required. Background checks will be performed.)*

Each of the approvals and permits listed above requires submittal of application and supporting documents, and payment of fees. Please consult with the appropriate department/division.



DEKALB COUNTY GOVERNMENT
PLANNING DEPARTMENT
DISTRIBUTION FORM

NOTE: PLEASE RETURN ALL COMMENTS VIA EMAIL OR FAX TO EXPEDITE THE PROCESS TO MICHELLE M ALEXANDER mmalexander@dekalbcountyga.gov OR JOHN REID jreid@DEKALBCOUNTYGA.GOV

COMMENTS FORM:
PUBLIC WORKS WATER AND SEWER

Case No.: CZ-21-1245061

Parcel I.D. #: 15 251 01 020, 15 186 04 027, & 15 186 04 028

Address: 3458, 3468, and 3478 Mountain Drive

Decatur, Georgia

WATER:

Size of existing water main: 6" CI and 16" DI Water Main (adequate/inadequate)

Distance from property to nearest main: Adjacent to Property

Size of line required, if inadequate: N/A

SEWER:

Outfall Servicing Project: Indian Creek Basin

Is sewer adjacent to property: Yes () No (X) If no, distance to nearest line: Approximately 318 feet West of property

Water Treatment Facility: Snapfinger WTF () adequate () inadequate

Sewage Capacity: * (MGPD) Current Flow: 21.77 (MGPD)

COMMENTS:

* Please note that the sewer capacity has not been reviewed or approved for this project. A Sewer Capacity Request (SCR) must be completed and submitted for review. This can be a lengthy process and should be addressed early in the process.

Will need permission from Director to tap less than 8" or greater than 12" water line. Will need sewer capacity approval. Suspect capacity limited location. - D Taylor

Signature: 

Zoning

N1. No Comment

N2. Panola Road is classified as a Major Arterial. Infrastructure requirements: 50 foot right of way dedication from centerline or such that all public infrastructure is within public right of way, whichever greater, 6 foot sidewalk, 4 foot bike lane (or 10 foot multiuse path in lieu of required bike lanes and 6 foot sidewalk), 10 foot landscape strip and street lights. Young Road is classified as a collector road. Infrastructure requirements: 35 foot right of way dedication from centerline or such that all public infrastructure is within public right of way, whichever greater, 6 foot sidewalk, 4 foot bike path (or 10 foot multiuse path in lieu of required bike lanes and 6 foot sidewalk), 10 foot landscape strip and street lights. The access point on Young Road must be right in/right out only and be located father from the intersection of Young Road at Panola Road. See Land Development Code Section 14-200 (6) for required minimum spacing to get proper offset from the Family Dollar access point. Verify that the access point meets intersection and stopping sight distance based on AASHTO design guidelines when submitting for permitting.

N3. No file forwarded for review.

N4. North Druid Hills is classified as a Major Arterial. Driveway is to be right in/right out only. Verify that the access point meets intersection and stopping sight distance based on AASHTO design guidelines when submitting for permitting. Raise the curb along North Druid Hills to current standards. Infrastructure requirements: 50 foot right of way dedication from centerline or such that all public infrastructure is within public right of way, whichever greater, 6 foot sidewalk, 4 foot bike lane (or 10 foot multiuse path in lieu of required bike lanes and 6 foot sidewalk), 10 foot landscape strip and street lights.

N5. No Comment

N6. No file forwarded for review.

N7. Memorial Drive is a state route. Review and approval of GDOT District 7 is required prior to a land disturbance permit (rmathis@dot.ga.gov) Memorial Drive is classified as a Major Arterial. Infrastructure Requirements: 50 foot right of way dedication from centerline or such that all public infrastructure is within public right of way, whichever greater, 6 foot sidewalk, 4 foot bike lane (or 10 foot multiuse path in lieu of required bike lanes and 6 foot sidewalk), 10 foot landscape strip and street lights. East Anderson Road is classified as a local road. The Land Development Code requires improvements on all property frontages. Infrastructure Requirements: 27.5 foot right of way dedication from centerline or such that all public infrastructure is within public right of way, whichever greater, 5 foot sidewalk, 6 foot landscape strip and street lights. A variance from the Zoning Board of Appeals for the Zoning Code requirements is necessary to eliminate the infrastructure improvements. However, the Transportation Division requires that the right of way dedication of 27.5 feet from centerline be donated- even if ZBA variances for sidewalks, streetlights, etc. are granted. The Land Development Code Section 14-200 (5) requires 3 access points for 170 units. If you propose over 150 units, you will need a variance from the BOC for the Land Development Code prior to approval of the land development permit. You will also need a variance from the BOC if you do not dedicate the right of way on East Anderson Road.

N8. No file forwarded for review.

N9. Columbia Drive is classified as a minor arterial. . Infrastructure Requirements: 40 foot right of way dedication from centerline or such that all public infrastructure is within public right of way, whichever greater, 6 foot sidewalk, 4 foot bike lane (or 10 foot multiuse path in lieu of required bike lanes and 6 foot sidewalk), 10 foot landscape strip and street lights. Interior roads to be private. Only one access point (30 units). Verify that the access point meets intersection and stopping sight distance based on AASHTO design guidelines when submitting for permitting.

N10. No Comment

N11. No Comment

N12. No Comment.



Board of Health

08/20/2021

To: Planning & Sustainability Department
From: Ryan Cira, Environmental Health Manager
Cc: Alan Gaines, Technical Services Manager
Re: Rezone Application Review

General Comments:

DeKalb County Health Regulations prohibit use of on-site sewage disposal systems for

- multiple dwellings
- food service establishments
- hotels and motels
- commercial laundries
- funeral homes
- schools
- nursing care facilities
- personal care homes with more than six (6) clients
- child or adult day care facilities with more than six (6) clients
- residential facilities containing food service establishments

If proposal will use on-site sewage disposal, please contact the Land Use Section (404) 508-7900.

Any proposal, which will alter wastewater flow to an on-site sewage disposal system, must be reviewed by this office prior to construction.

This office must approve any proposed food service operation, tourist accommodation or swimming pool prior to starting construction.

Public health recommends the inclusion of sidewalks to continue a preexisting sidewalk network or begin a new sidewalk network. Sidewalks can provide safe and convenient pedestrian access to a community-oriented facility and access to adjacent facilities and neighborhoods.

For a public transportation route, there shall be a 5ft. sidewalk with a buffer between the sidewalk and the road. There shall be enough space next to sidewalk for bus shelter's concrete pad installation.

Since DeKalb County is classified as a Zone 1 radon county, this office recommends the use of radon resistant construction.



Board of Health

- N.9 Z-21-1245080 2021-2910/15-186-04-028,15-186-04-029
- 1484 Columbia Drive, Decatur, GA 30032 Acres:2.29 District 03 Super District 07
- Please review general comments.
- Research indicates onsite septic system installed on 04/10/2013 at 1530 Columbia Drive and on 08/15/2006 at 1497 Columbia Drive (surrounding area of 1484 Columbia Drive).
-
- N.10 CZ-21-1245061 2021-2903/15-251-01-020,15-251-01-027,15-251-01-028
- 3458 Mountain Drive, Decatur, GA 30032 Acres: 9.30 District 04 Super District 06
- Please review general comments.
- Research indicates onsite septic system installed on 08/05/1996 at 3402 Mountain Drive (surrounding area).
-
- N.11 SLUP-21-1245087 2021-2909/15-148-02-029
- 1748 Pine Trail, Atlanta, GA 30316 Acres: 1.01 District 03 Super District 06
- Please review general comments.
-
- N.12 SLUP-21-1245110 2021-2909/16-188-03-006
- 1816 Enid Drive, Lithonia, GA 30058 Acre:0.47 District 05 Super District 07
- Please review general comments.
- Research indicates onsite septic system installed on 11/29/172 and 05/15/1992 at location.

**DeKalb County School District
Development Review Comments**

Analysis Date: 8/20/2021

Submitted to: DeKalb County

Case #: CZ-21-1245061

Parcel #: 15-251-01-020/-027/-028

Name of Development: Avondale Park
Location: 3458 Mountain Drive

Description: Mixed-use development with 51 single-family attached, 18 single-family detached, and 140 apartments.

Impact of Development: When fully constructed, this development would be expected to generate 46 students: 2 at Avondale Elementary School, 3 at Druid Hills Middle School, 6 at Druid Hills High School, 25 at other DCSD schools, and 10 at private school. Druid Hills High School is expected to be at or above capacity. However, the impact from this development is expected to be minimal.

Current Condition of Schools	Avondale Elementary School	Druid Hills Middle School	Druid Hills High School	Other DCSD Schools	Private Schools	Total
Capacity	495	1,175	1,392			
Portables	0	0	0			
Enrollment (Fcast. Oct. 2021)	412	974	1,405			
Seats Available	83	201	-13			
Utilization (%)	83.2%	82.9%	100.9%			

New students from development	2	3	6	25	10	46
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New Enrollment	414	977	1,411
New Seats Available	81	198	-19
New Utilization	83.6%	83.1%	101.4%

Yield Rates	Attend Home School	Attend other DCSD School	Private School	Total
Elementary	0.0114	0.0785	0.0303	0.0401
Middle	0.0133	0.0321	0.0152	0.0202
High	0.0310	0.0116	0.0053	0.0159
Total	0.0186	0.0407	0.0169	0.0254
Student Calculations				
Proposed Units	209			
Unit Type	Mixed			
Cluster	Druid Hills High School			
Units x Yield	Attend Home School	Attend other DCSD School	Private School	Total
Elementary	2.39	16.40	6.34	25.13
Middle	2.78	6.71	3.17	12.66
High	6.47	2.41	1.11	9.99
Total	11.64	25.52	10.62	47.78
Anticipated Students	Attend Home School	Attend other DCSD School	Private School	Total
Avondale Elementary School	2	16	6	24
Druid Hills Middle School	3	7	3	13
Druid Hills High School	6	2	1	9
Total	11	25	10	46

N10



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**COMMENTS FORM:
PUBLIC WORKS TRAFFIC ENGINEERING**

Case No: CZ-21-1245061 Parcel I.D. #: 15-251-01-020, 077, 078

Address: 3458, 3468, 3478
Lawrence Dr.
Decatur, GA

Adjacent Roadway (s):

(classification) (classification)

Capacity (TPD) _____	Capacity (TPD) _____
Latest Count (TPD) _____	Latest Count (TPD) _____
Hourly Capacity (VPH) _____	Hourly Capacity (VPH) _____
Peak Hour Volume (VPH) _____	Peak Hour Volume (VPH) _____
Existing number of traffic lanes _____	Existing number of traffic lanes _____
Existing right of way width _____	Existing right of way width _____
Proposed number of traffic lanes _____	Proposed number of traffic lanes _____
Proposed right of way width _____	Proposed right of way width _____

Please provide additional information relating to the following statement.

According to studies conducted by the Institute of Traffic Engineers (ITE) 6/7th Edition (whichever is applicable), churches generate an average of fifteen (15) vehicle trip end (VTE) per 1,000 square feet of floor area, with an eight (8%) percent peak hour factor. Based on the above formula, the _____ square foot place of worship building would generate _____ vehicle trip ends, with approximately _____ peak hour vehicle trip ends.

Single Family residence, on the other hand, would generate ten (10) VTE's per day per dwelling unit, with a ten (10%) percent peak hour factor. Based on the above referenced formula, the _____ (Single Family Residential) District designation which allows a maximum of _____ units per acres, and the given fact that the project site is approximately _____ acres in land area, _____ daily vehicle trip end, and _____ peak hour vehicle trip end would be generated with residential development of the parcel.

COMMENTS:

Reviewed and found nothing that would
disrupt traffic flow

Signature: [Signature]



AVONDALE PARK - ATL E128 GRANT

CORPORATE CONTACTS	DIVISION CONTACTS	CONSULTANT CONTACTS
BEAZER HOMES PLANNING AND DESIGN 1000 ABERNATHY ROAD SUITE 260 ATLANTA, GA 30328 PH: 770-392-2100	BEAZER HOMES ATLANTA 6755 SHILOH ROAD SUITE 101 ALPHARETTA, GA 30005 CONTACT: PH: FAX:	M & K ENGINEERING 20 SOUTH MAPLE STREET SUITE 150 AMBLER, PA 19002 PH: 215-646-8001

REVISION SCHEDULE		
REV	DATE	DESCRIPTION
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Square Footages			
Area	Elev TRA	Elev FHA	Elev ACA
First Floor	968 SF	968 SF	968 SF
Second Floor	1319 SF	1319 SF	1319 SF
Total Living	2287 SF	2287 SF	2287 SF
Garage	424 SF	424 SF	424 SF
Covered Porch	41 SF	41 SF	41 SF
Total Under Roof	2752 SF	2752 SF	2752 SF

Square Footage Options	
Area	Square Footage
Opt. Finished Basement	812 SF
Opt. Unfinished Basement	894 SF
Opt. Covered Patio/Deck	141 SF
Opt. 3rd Floor	628 SF

Choice Plan Numbers	
Choice Kitchen A	CH5E0101
Choice Kitchen B	CH5H0101
Choice PRM. Bath A	CH7F0201
Choice PRM. Bath B	CH7G0201

DESIGN CODES

INTERNATIONAL RESIDENTIAL CODE 2018 EDITION - WITH ALL GEORGIA AMENDMENTS
 INTERNATIONAL FIRE CODE 2018 EDITION - WITH ALL GEORGIA AMENDMENTS
 INTERNATIONAL PLUMBING CODE 2018 EDITION - WITH ALL GEORGIA AMENDMENTS
 INTERNATIONAL MECHANICAL CODE 2018 EDITION - WITH ALL GEORGIA AMENDMENTS
 INTERNATIONAL FUEL GAS CODE 2018 EDITION - WITH ALL GEORGIA AMENDMENTS
 NATIONAL ELECTRICAL CODE 2017 EDITION
 INTERNATIONAL ENERGY CONSERVATION CODE 2015 EDITION - WITH ALL GEORGIA AMENDMENTS
 2018 LIFE SAFETY CODE W/ GEORGIA AMENDMENTS
 THIS PLAN SHALL CONFORM TO ALL BEAZER COMMUNITIES INC, CONSTRUCTION STANDARDS

Sheet List	
Sheet #	Description
CS-1.0	Cover Sheet
F-1.0	Slab Plan Elev TRA
F-1.1	Slab Plan Elev FHA
F-1.2	Slab Plan Elev ACA
F-3.0	Basement Plan
F-3.1	Basement Plan Partials
F-3.2	Finished Basement Plan
A-1.0	First Floor Plan
A-1.1	First Floor Plan Partials
A-1.2	First Floor Structural Options
A-2.0	Second Floor Plan
A-2.1	Second Floor Plan Partials
A-2.2	Third Floor Plan
A-3.0	Front Elevation TRA
A-3.1	Side Elevations TRA
A-3.2	Front Elevation FHA
A-3.3	Side Elevations FHA
A-3.4	Front Elevation ACA
A-3.5	Side Elevations ACA
A-3.6	Optional Covered Patio
A-3.7	Optional Basement Rear Elevations
A-4.0	Typical Sections
A-4.1	Typical Sections Basement
A-4.2	Typical Sections W/ Third Floor Plan
E-1.0	First Floor Electrical Plan
E-1.1	First Floor Electrical Partials
E-1.2	First Floor Electrical Structural Options
E-2.0	Second Floor Electrical Plan
E-2.1	Second Floor Electrical Partials
E-2.2	Third Floor Electrical Plan
E-3.0	Basement Electrical - Unfinished Basement
E-3.1	Basement Electrical - Finished Basement

REV.	DATE
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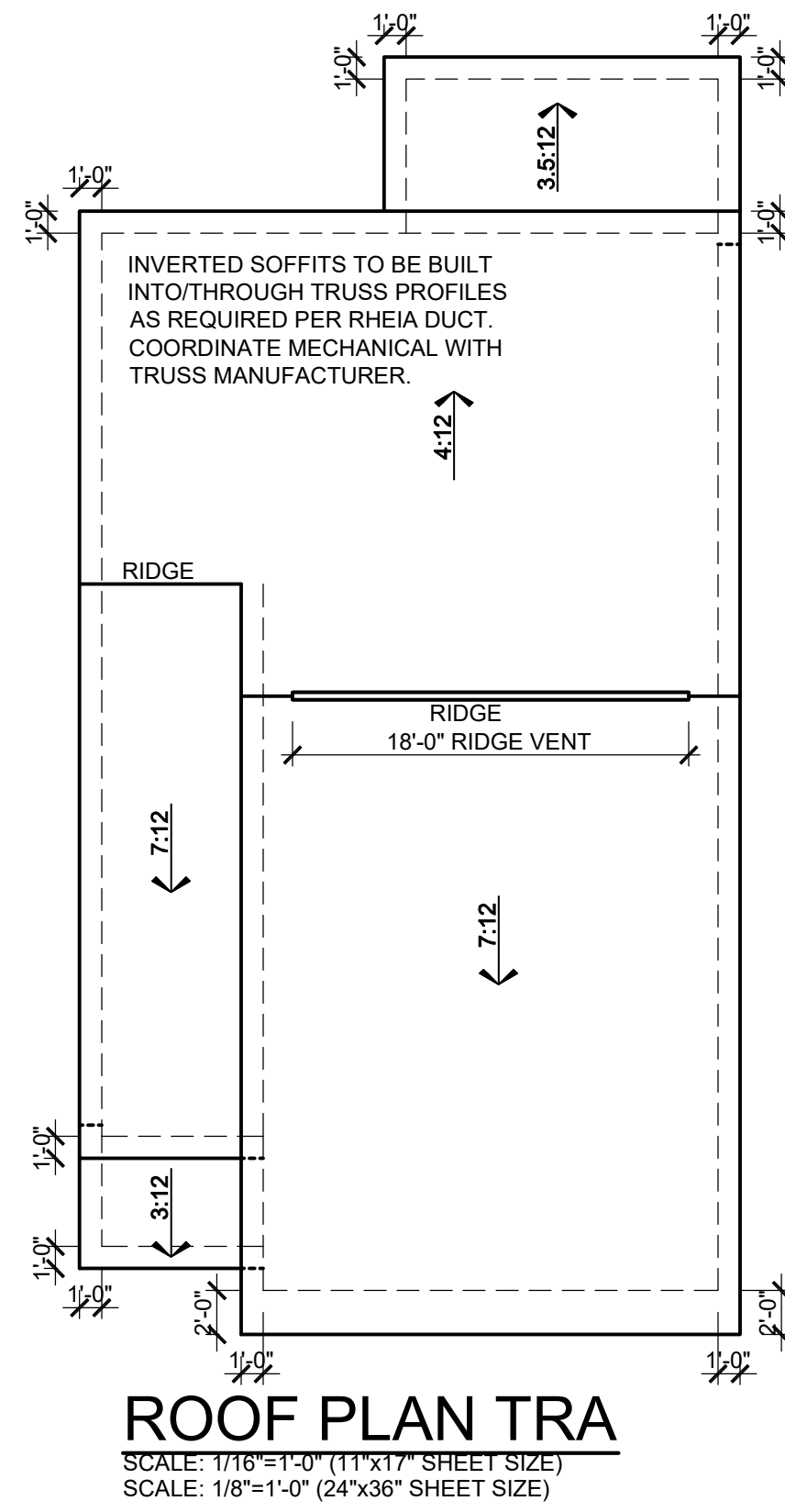
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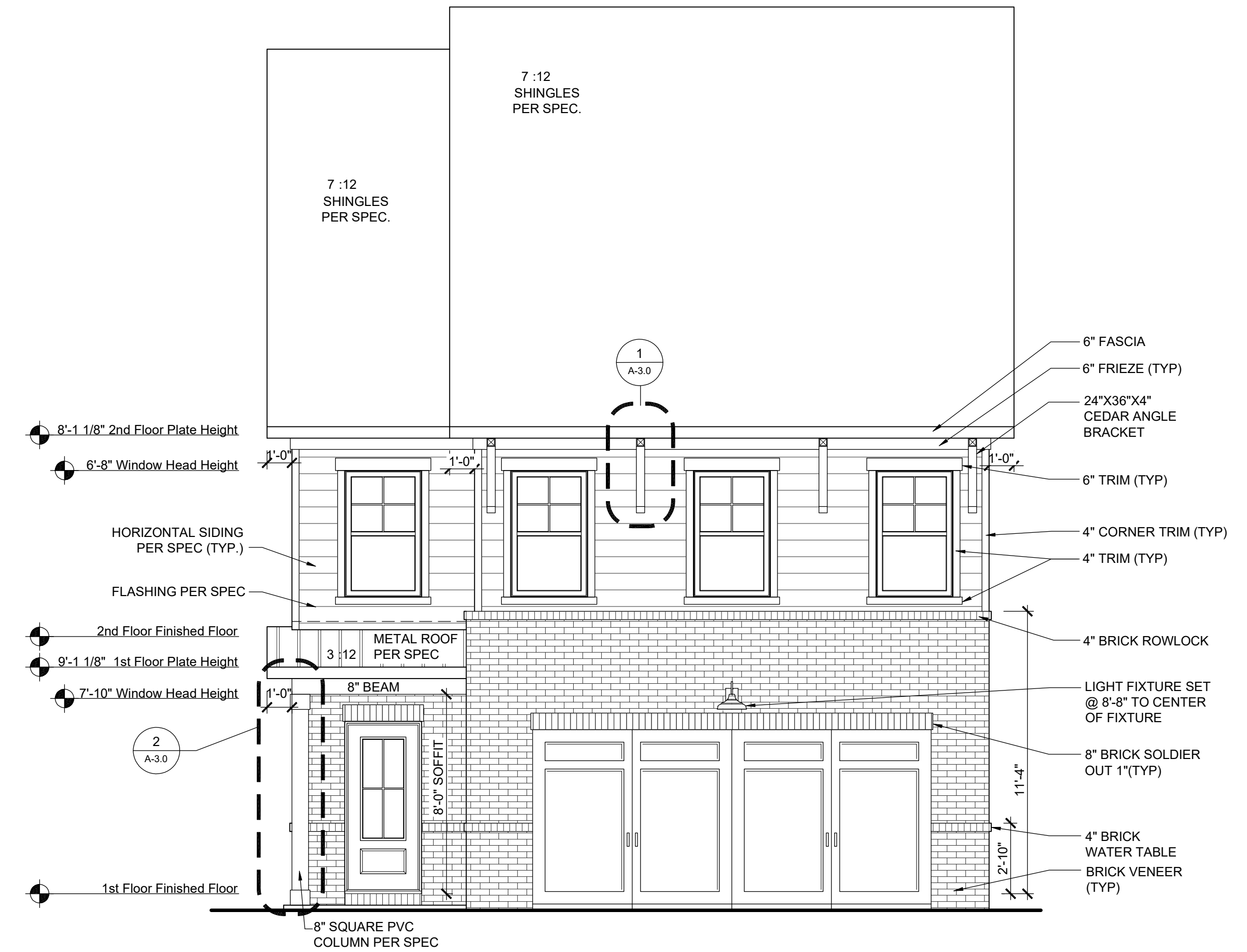
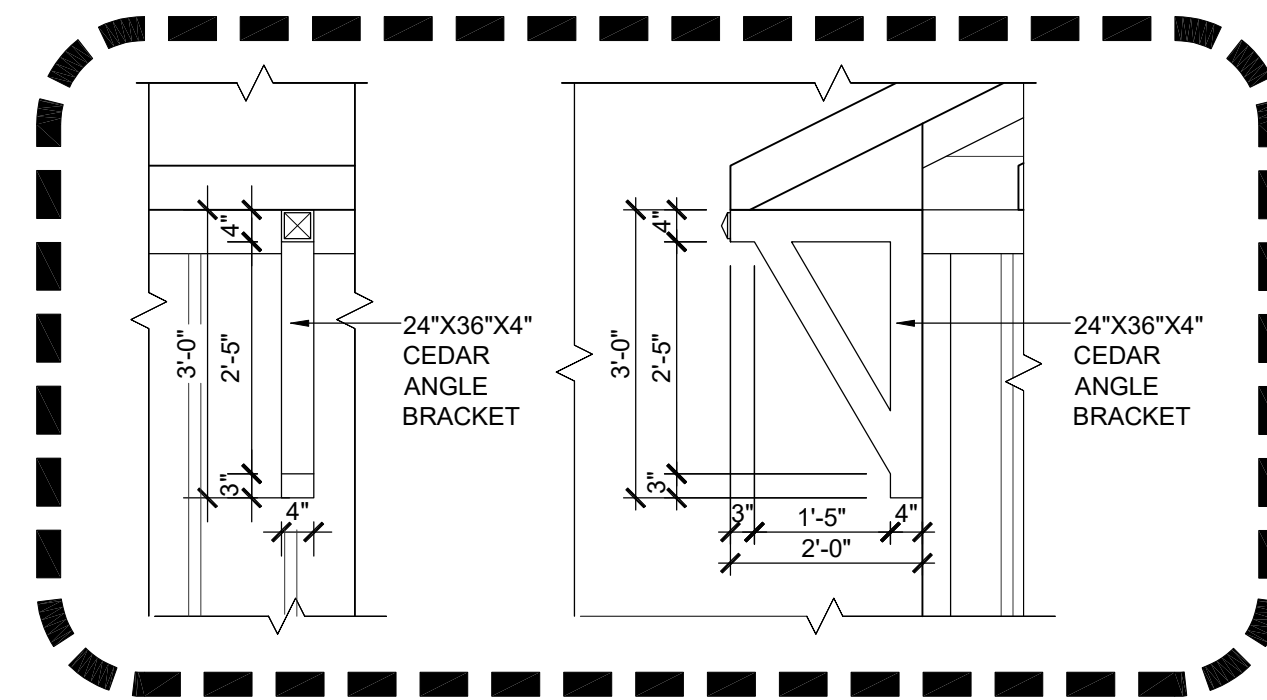
ATL E1281.0
Cover Sheets
Cover Sheet

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checked by:	---
date:	---
sheet number:	CS-1.0

AVONDALE PARK -



FRONT FACADE PERCENTAGES		
MATERIALS	S.F.	%
SIDING	137	42
SHAKE	0	0
BOARD & BATT	0	0
HARDI BOARD	0	0
STONE VENEER	0	0
BRICK VENEER	192	58
TOTAL=		329 100
MASONRY % =		58



FRONT ELEVATION TRA
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

MAIN ROOF TRA

ATTIC VENT CALCULATION

TOTAL SQ. FT. OF ROOF AREA: 1293 SQ. FT.
RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT
SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT

$$((1293 \text{ SQ FT} \times 1/300) \times 144) / 2 = 310 \text{ SQ. IN.}$$

310 / 18 NFA OF RIDGE VENT = 18' REQUIRED
310 / 9 NFA OF SOFFIT VENT = 35' REQUIRED

ACTUAL RIDGE VENT PROVIDED: 18'
ACTUAL SOFFIT VENT PROVIDED: 38'

PORCH ROOF TRA

ATTIC VENT CALCULATION

TOTAL SQ. FT. OF ROOF AREA: 37 SQ. FT.
RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT
SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT

$$((37 \text{ SQ FT} \times 1/150) \times 144) / 2 = 18 \text{ SQ. IN.}$$

18 / 9 NFA OF SOFFIT VENT = 2

ACTUAL RIDGE VENT PROVIDED: 0'
ACTUAL SOFFIT VENT PROVIDED: 7'

SITTING ROOM ROOF TRA

ATTIC VENT CALCULATION

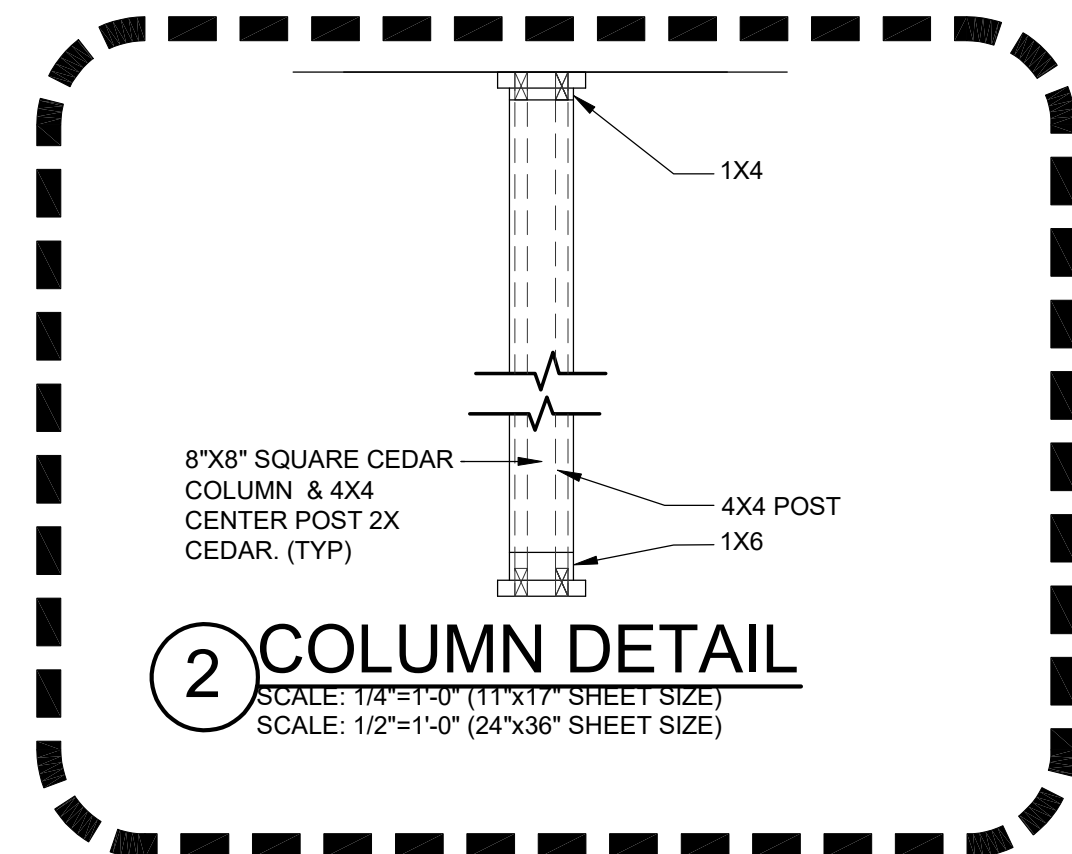
TOTAL SQ. FT. OF ROOF AREA: 99 SQ. FT.
RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT
SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT

$$((99 \text{ SQ FT} \times 1/150) \times 144) / 2 = 48 \text{ SQ. IN.}$$

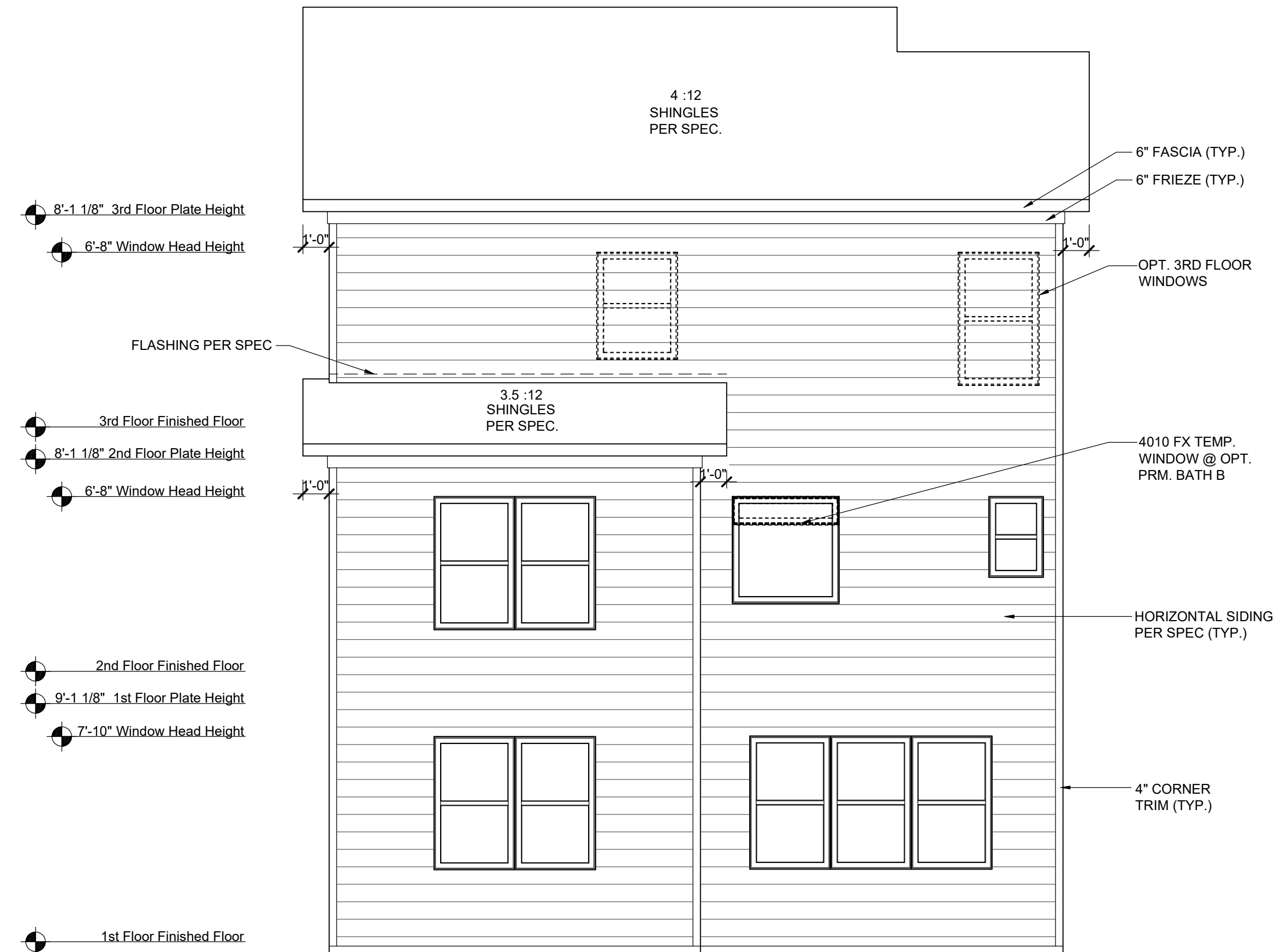
48 / 9 NFA OF SOFFIT VENT = 5

ACTUAL RIDGE VENT PROVIDED: 0'
ACTUAL SOFFIT VENT PROVIDED: 16'

1 BRACKET DETAIL
SCALE: 1/4"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/2"=1'-0" (24"x36" SHEET SIZE)



REAR FACADE PERCENTAGES		
MATERIALS	S.F.	%
SIDING	549	100
SHAKE	0	0
BOARD & BATT	0	0
HARDI BOARD	0	0
STONE VENEER	0	0
BRICK VENEER	0	0
TOTAL=		549 100
MASONRY % =		0



REAR ELEVATION TRA
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

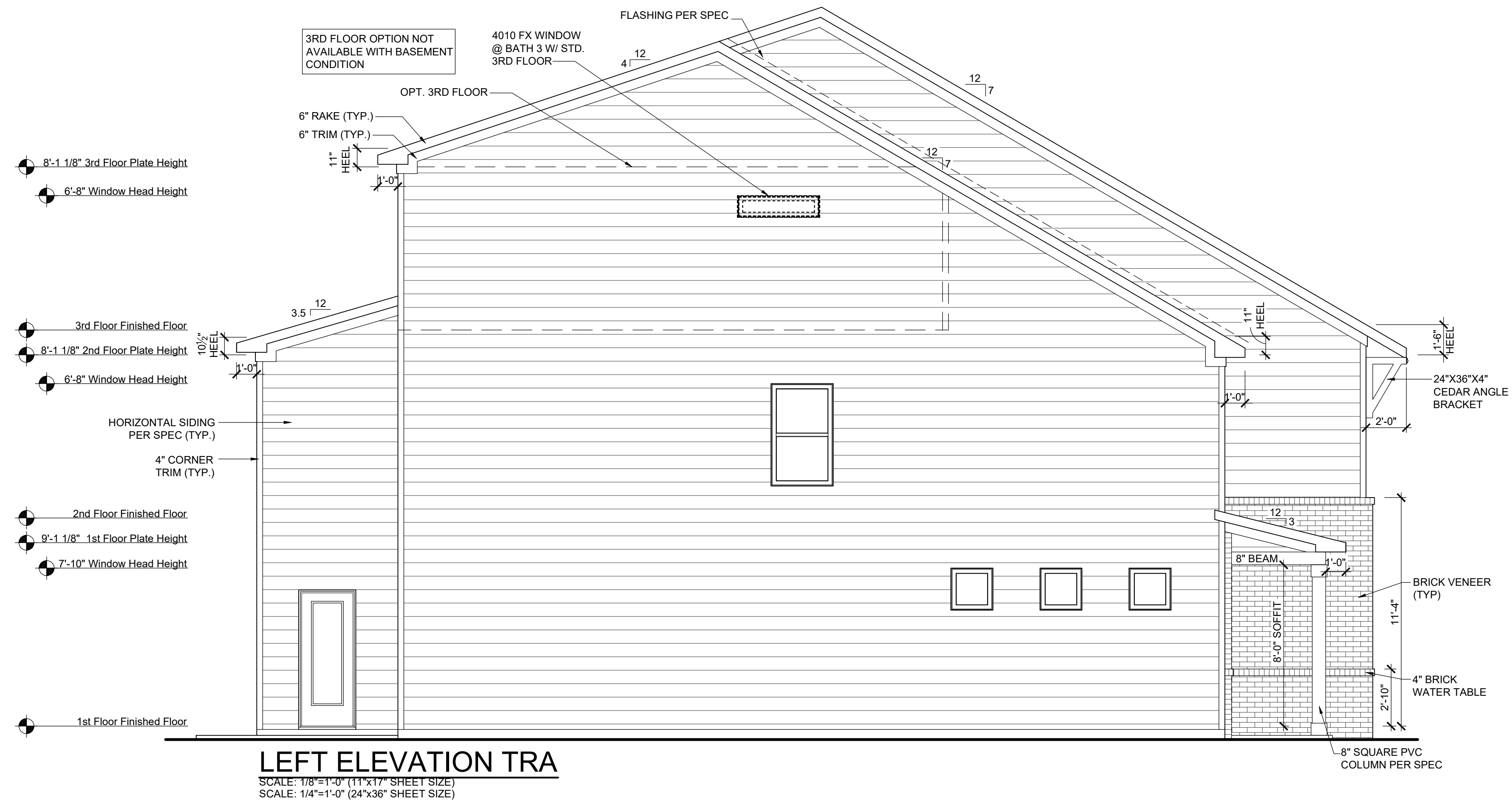
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ATL E1281.0
Elevation Plans
Front Elevation TRA

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checked by: ---
date: ---
sheet number:
A-3.0



LEFT ELEVATION TRA

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

LEFT FACADE PERCENTAGES		
MATERIALS	S.F.	%
SIDING	1403	94
SHAKE	0	0
BOARD & BATT	0	0
HARDI BOARD	0	0
STONE VENEER	0	0
BRICK VENEER	86	6
TOTAL=		1489 100
MASONRY % =		6



RIGHT ELEVATION TRA

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

RIGHT FACADE PERCENTAGES		
MATERIALS	S.F.	%
SIDING	1440	100
SHAKE	0	0
BOARD & BATT	0	0
HARDI BOARD	0	0
STONE VENEER	0	0
BRICK VENEER	4	0
TOTAL=		1444 100
MASONRY % =		0

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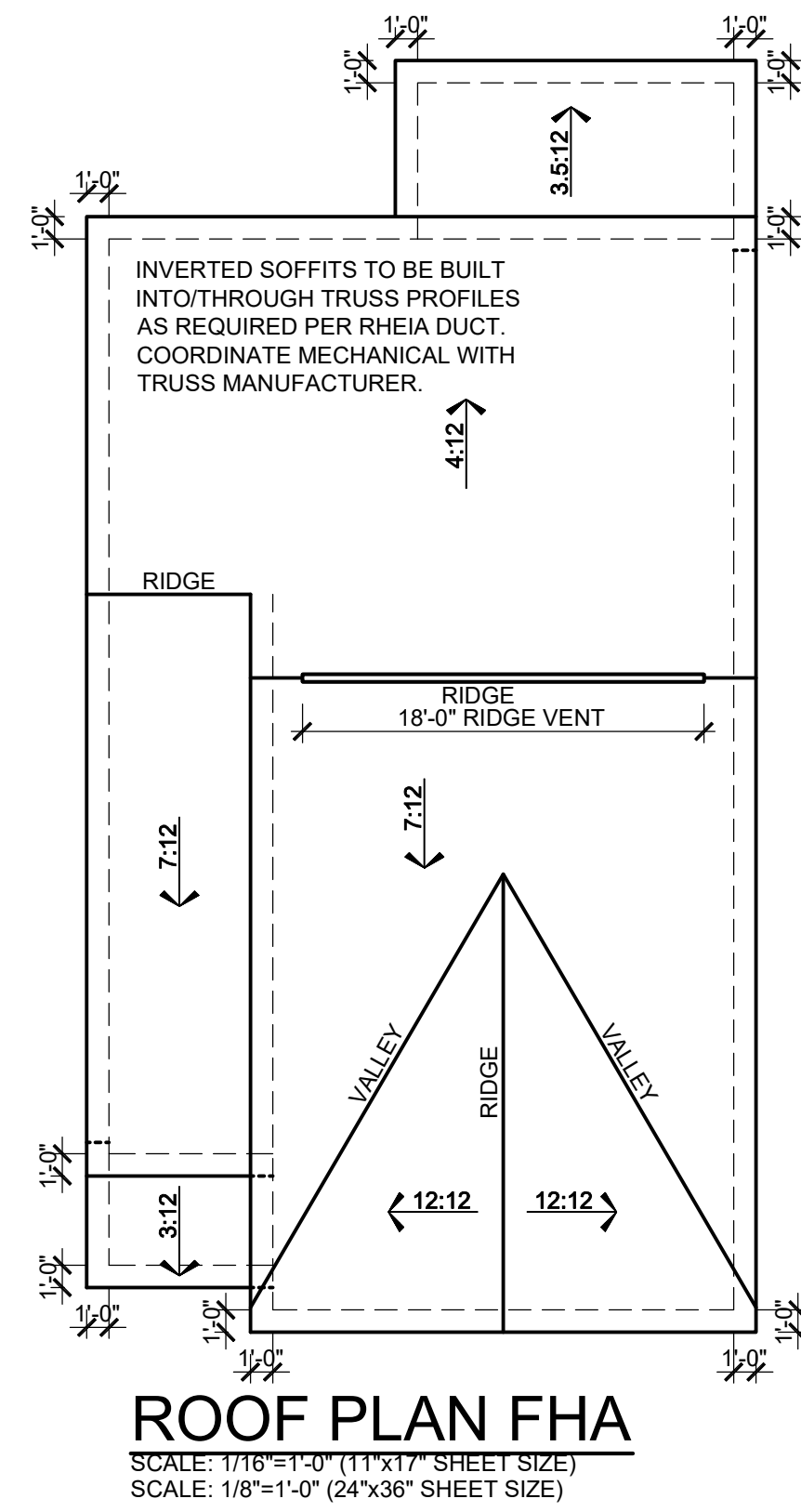


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Elevation Plans
Side Elevations TRA

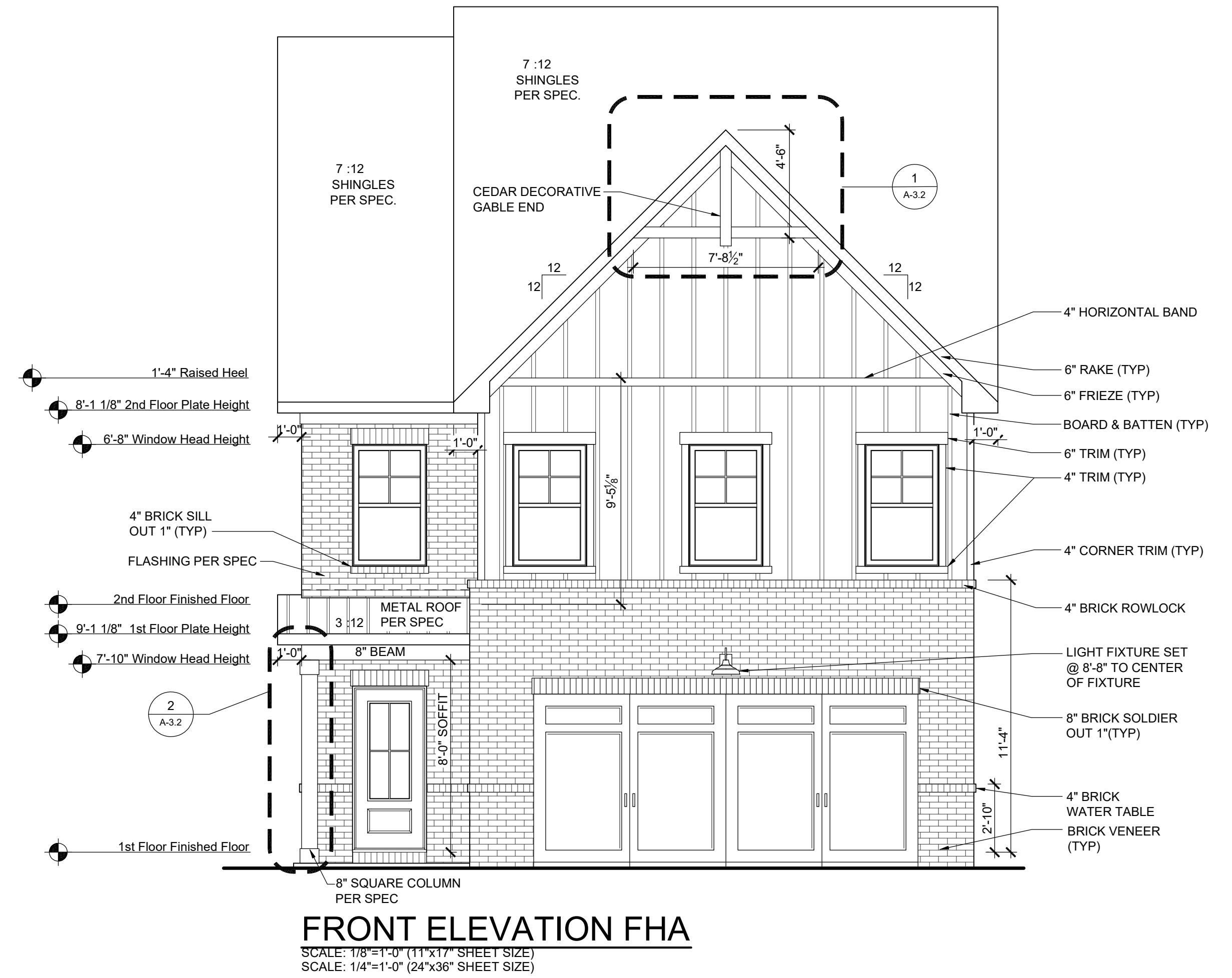
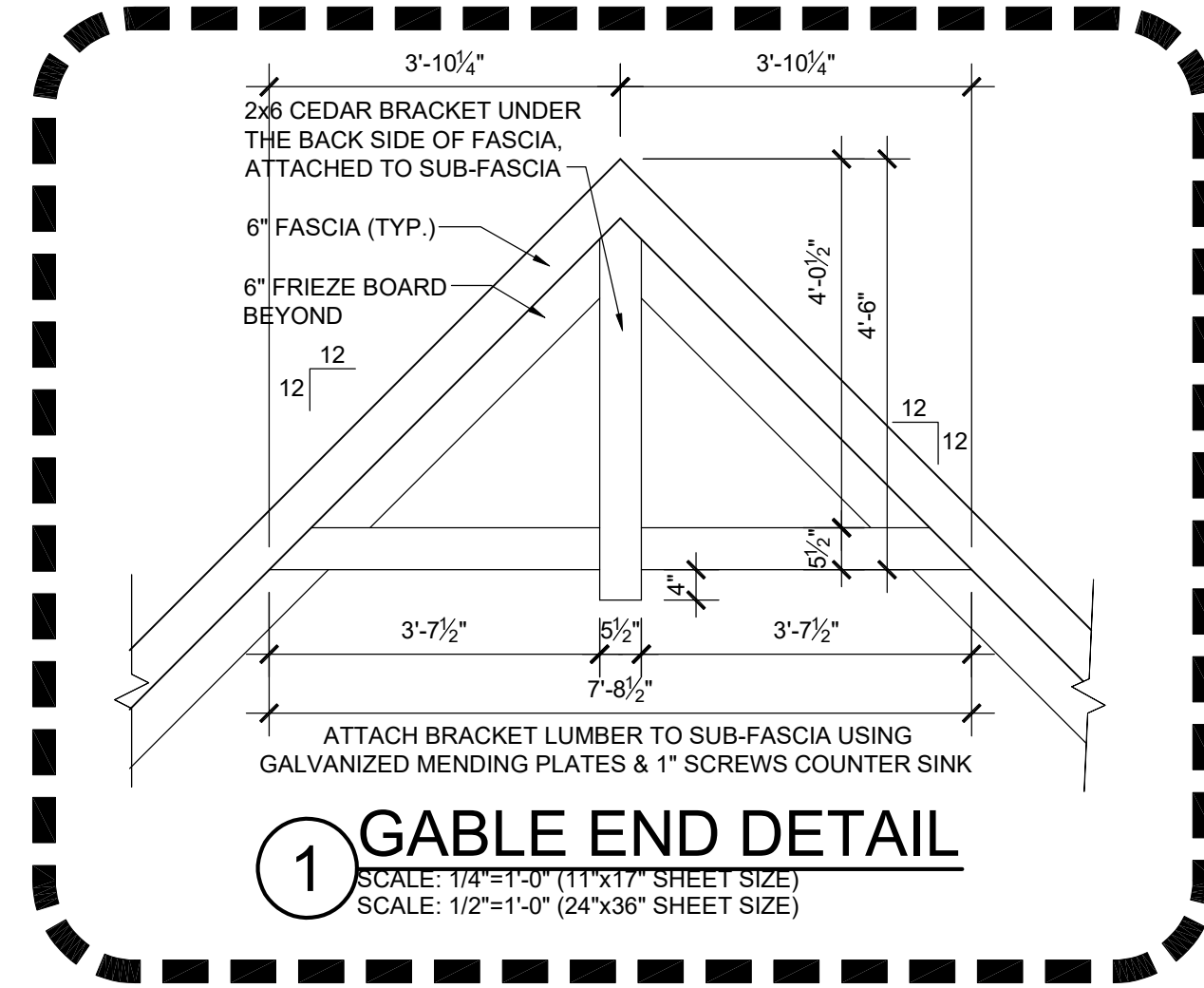
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checked by: --
date: --

sheet number:
A-3.1

AVONDALE PARK -



FRONT FACADE PERCENTAGES		
MATERIALS	S.F.	%
SIDING	0	0
SHAKE	0	0
BOARD & BATT	223	49
HARDI BOARD	0	0
STONE VENEER	0	0
BRICK VENEER	229	51
TOTAL=	452	100
MASONRY % =	51	



MAIN ROOF FHA

ATTIC VENT CALCULATION	
TOTAL SQ. FT. OF ROOF AREA: 1293 SQ. FT.	RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT
	SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT
((1293 SQ. FT. x 1/300) x 144) / 2 = 310 SQ. IN.	
310 / 18	NFA OF RIDGE VENT = 18' REQUIRED
310 / 9	NFA OF SOFFIT VENT = 35' REQUIRED
ACTUAL RIDGE VENT PROVIDED: 18'	
ACTUAL SOFFIT VENT PROVIDED: 38'	

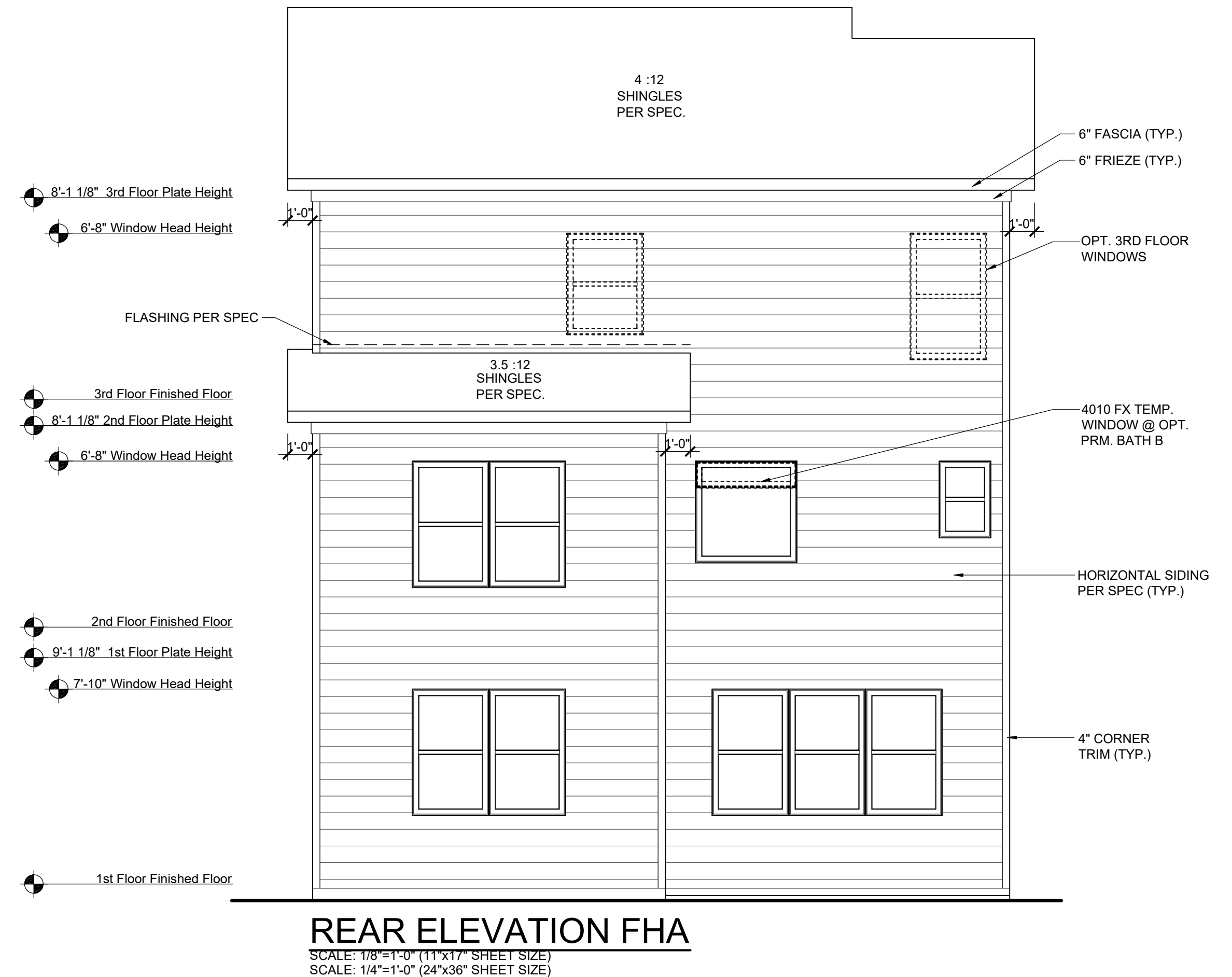
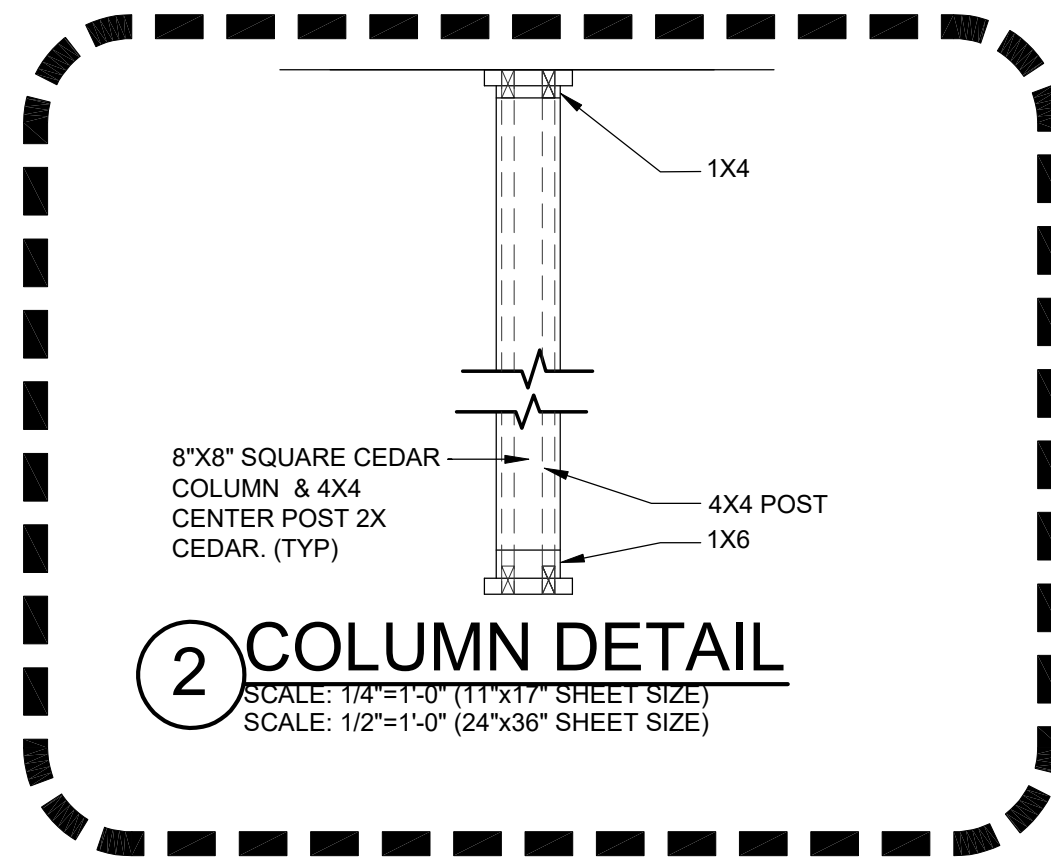
PORCH ROOF FHA

ATTIC VENT CALCULATION	
TOTAL SQ. FT. OF ROOF AREA: 37 SQ. FT.	RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT
	SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT
((37 SQ. FT. x 1/150) x 144) / 2 = 18 SQ. IN.	
18 / 9	NFA OF SOFFIT VENT = 2
ACTUAL RIDGE VENT PROVIDED: 0'	
ACTUAL SOFFIT VENT PROVIDED: 7'	

SITTING ROOM ROOF FHA

ATTIC VENT CALCULATION	
TOTAL SQ. FT. OF ROOF AREA: 99 SQ. FT.	RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT
	SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT
((99 SQ. FT. x 1/150) x 144) / 2 = 48 SQ. IN.	
48 / 9	NFA OF SOFFIT VENT = 5
ACTUAL RIDGE VENT PROVIDED: 0'	
ACTUAL SOFFIT VENT PROVIDED: 16'	

REAR FACADE PERCENTAGES		
MATERIALS	S.F.	%
SIDING	503	100
SHAKE	0	0
BOARD & BATT	0	0
HARDI BOARD	0	0
STONE VENEER	0	0
BRICK VENEER	0	0
TOTAL=	503	100
MASONRY % =	0	



REV.	DATE
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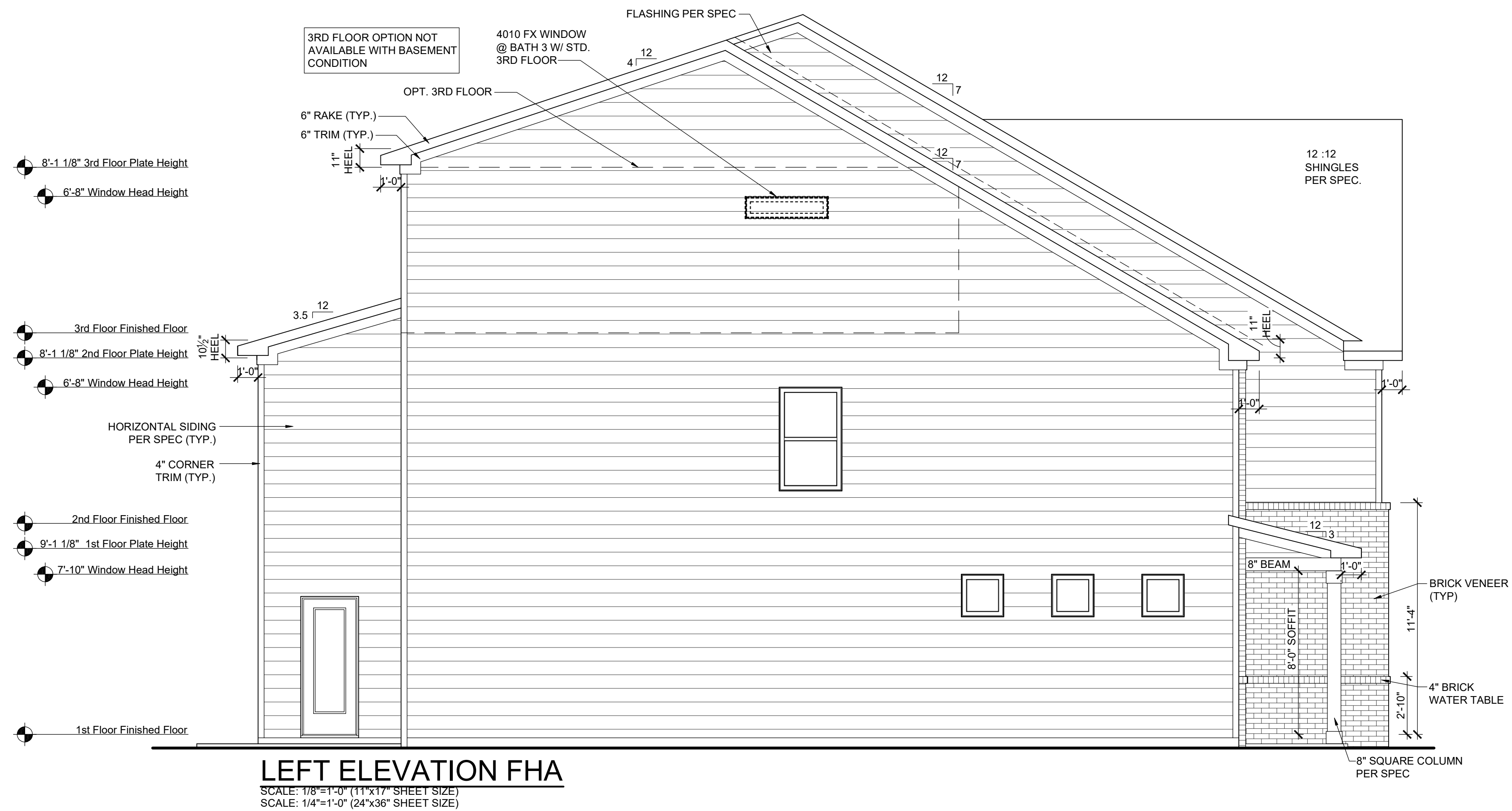
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Elevation Plans
Front Elevation FHA

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A-3.2



LEFT ELEVATION FHA
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

LEFT FACADE PERCENTAGES		
MATERIALS	S.F.	%
SIDING	1366	94
SHAKE	0	0
BOARD & BATT	0	0
HARDI BOARD	0	0
STONE VENEER	0	0
BRICK VENEER	90	6
TOTAL=		1456 100
MASONRY % =		6



RIGHT ELEVATION FHA
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

RIGHT FACADE PERCENTAGES		
MATERIALS	S.F.	%
SIDING	1413	100
SHAKE	0	0
BOARD & BATT	0	0
HARDI BOARD	0	0
STONE VENEER	0	0
BRICK VENEER	4	0
TOTAL=		1417 100
MASONRY % =		0

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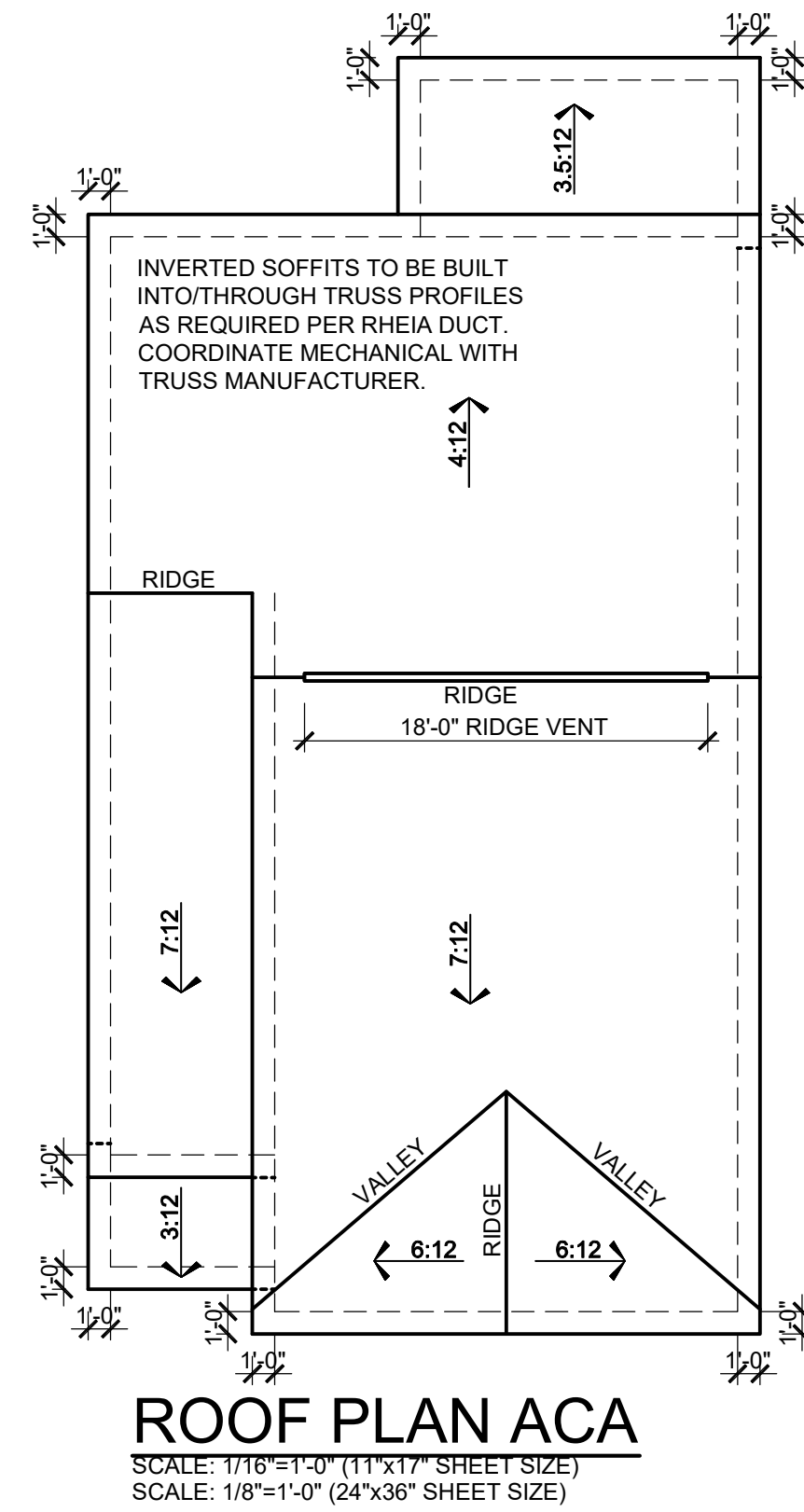


ATL E1281.0
Elevation Plans
Side Elevations FHA

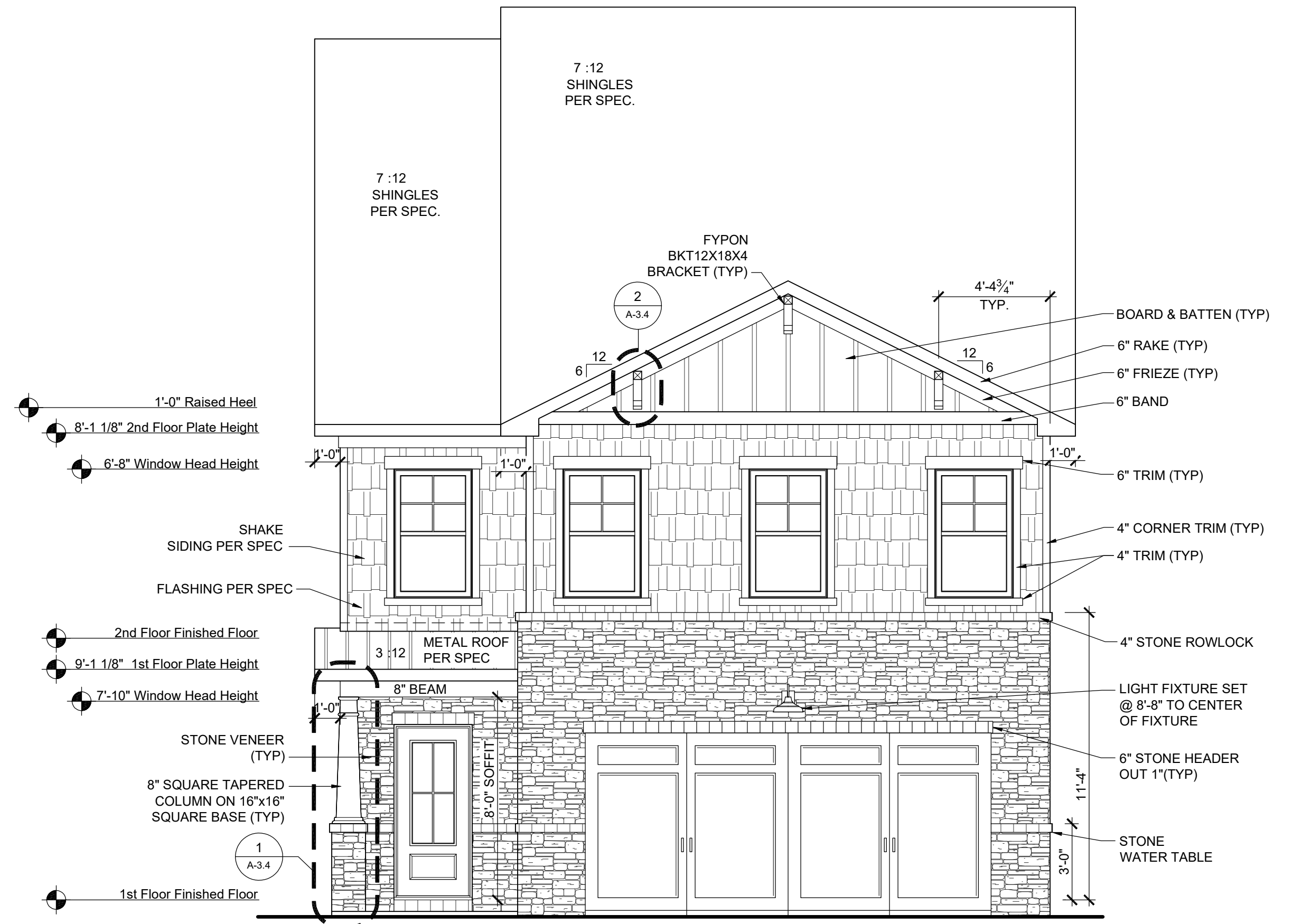
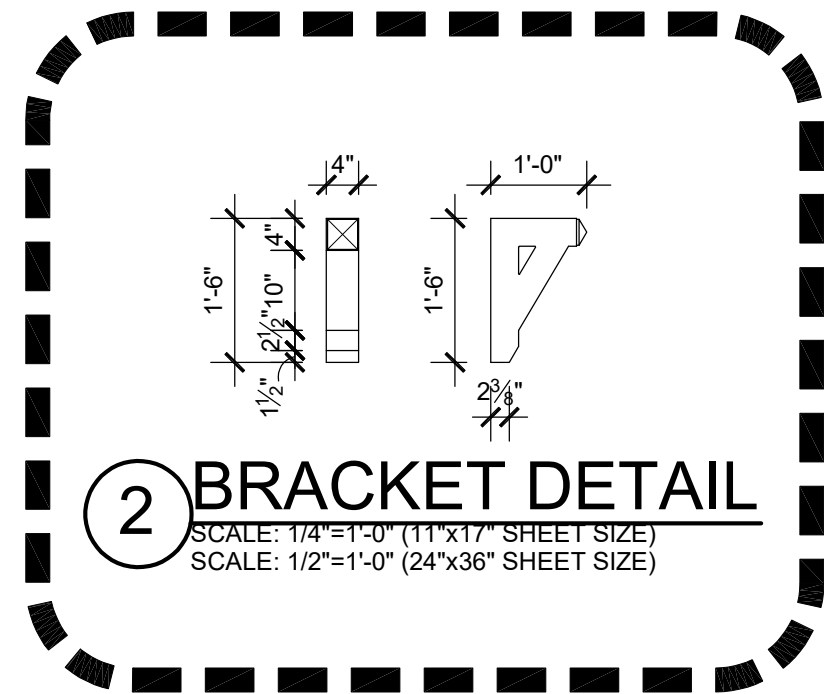
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 checked by: --
 date: --

sheet number:
A-3.3

AVONDALE PARK -



FRONT FACADE PERCENTAGES		
MATERIALS	S.F.	%
SIDING	0	0
SHAKE	156	39
BOARD & BATT	43	11
HARDI BOARD	0	0
STONE VENEER	196	50
BRICK VENEER	0	0
TOTAL=		395 100
MASONRY % =		50

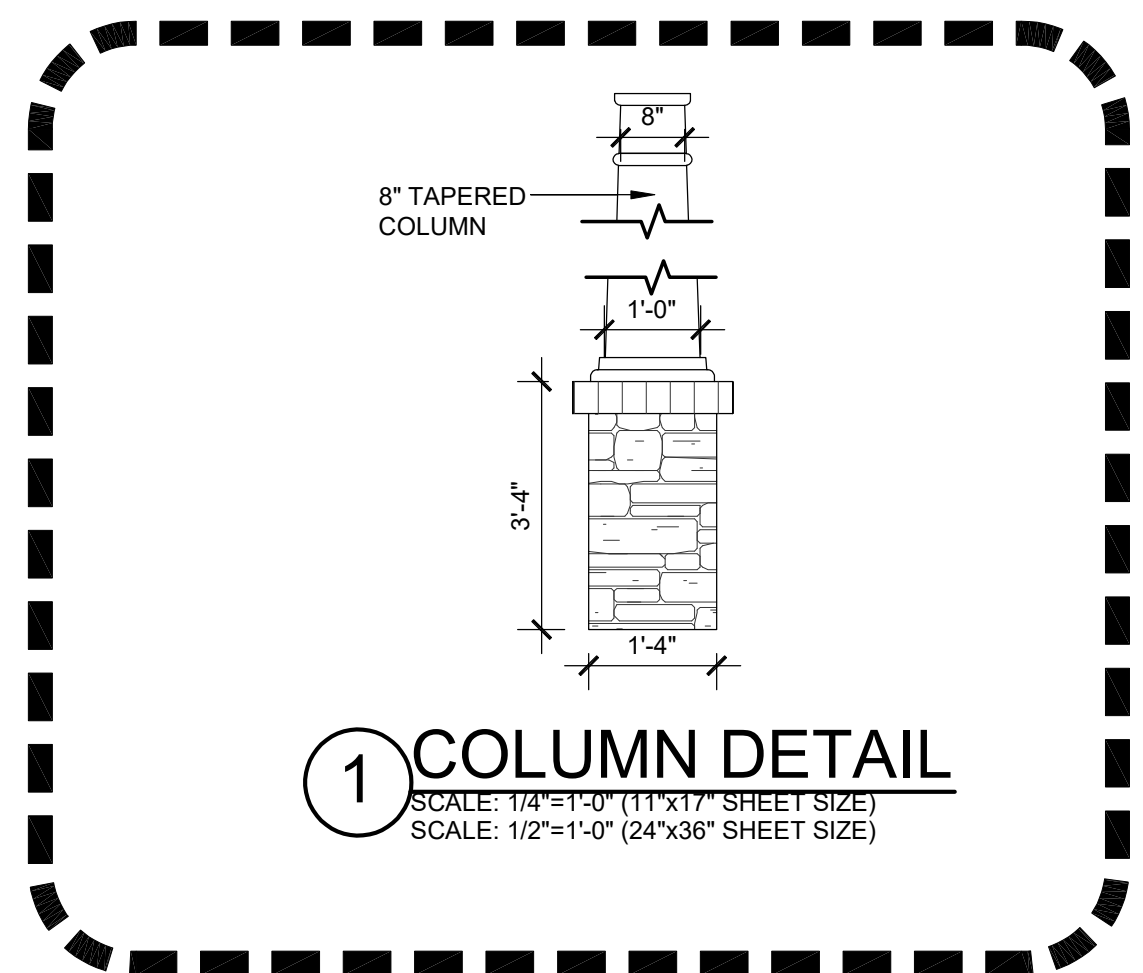


FRONT ELEVATION ACA

MAIN ROOF ACA ATTIC VENT CALCULATION	
TOTAL SQ. FT. OF ROOF AREA:	1293 SQ. FT.
RIDGE VENT NET FREE AREA:	18 SQ. IN. PER LINEAL FOOT
SOFFIT VENT NET FREE AREA:	9 SQ. IN. PER LINEAL FOOT
((1293 SQ FT x 1/300) x 144) / 2 = 310 SQ. IN.	
310 / 18 NFA OF RIDGE VENT =	18' REQUIRED
310 / 9 NFA OF SOFFIT VENT =	35' REQUIRED
ACTUAL RIDGE VENT PROVIDED:	18'
ACTUAL SOFFIT VENT PROVIDED:	38'

PORCH ROOF ACA ATTIC VENT CALCULATION	
TOTAL SQ. FT. OF ROOF AREA:	37 SQ. FT.
RIDGE VENT NET FREE AREA:	18 SQ. IN. PER LINEAL FOOT
SOFFIT VENT NET FREE AREA:	9 SQ. IN. PER LINEAL FOOT
((37 SQ FT x 1/150) x 144) / 2 = 18 SQ. IN.	
18 / 9 NFA OF SOFFIT VENT =	2
ACTUAL RIDGE VENT PROVIDED:	0'
ACTUAL SOFFIT VENT PROVIDED:	7'

SITTING ROOM ROOF ACA ATTIC VENT CALCULATION	
TOTAL SQ. FT. OF ROOF AREA:	99 SQ. FT.
RIDGE VENT NET FREE AREA:	18 SQ. IN. PER LINEAL FOOT
SOFFIT VENT NET FREE AREA:	9 SQ. IN. PER LINEAL FOOT
((99 SQ FT x 1/150) x 144) / 2 = 48 SQ. IN.	
48 / 9 NFA OF SOFFIT VENT =	5
ACTUAL RIDGE VENT PROVIDED:	0'
ACTUAL SOFFIT VENT PROVIDED:	16'



REAR FACADE PERCENTAGES		
MATERIALS	S.F.	%
SIDING	549	100
SHAKE	0	0
BOARD & BATT	0	0
HARDI BOARD	0	0
STONE VENEER	0	0
BRICK VENEER	0	0
TOTAL=		549 100
MASONRY % =		0



REAR ELEVATION ACA

REV.	DATE
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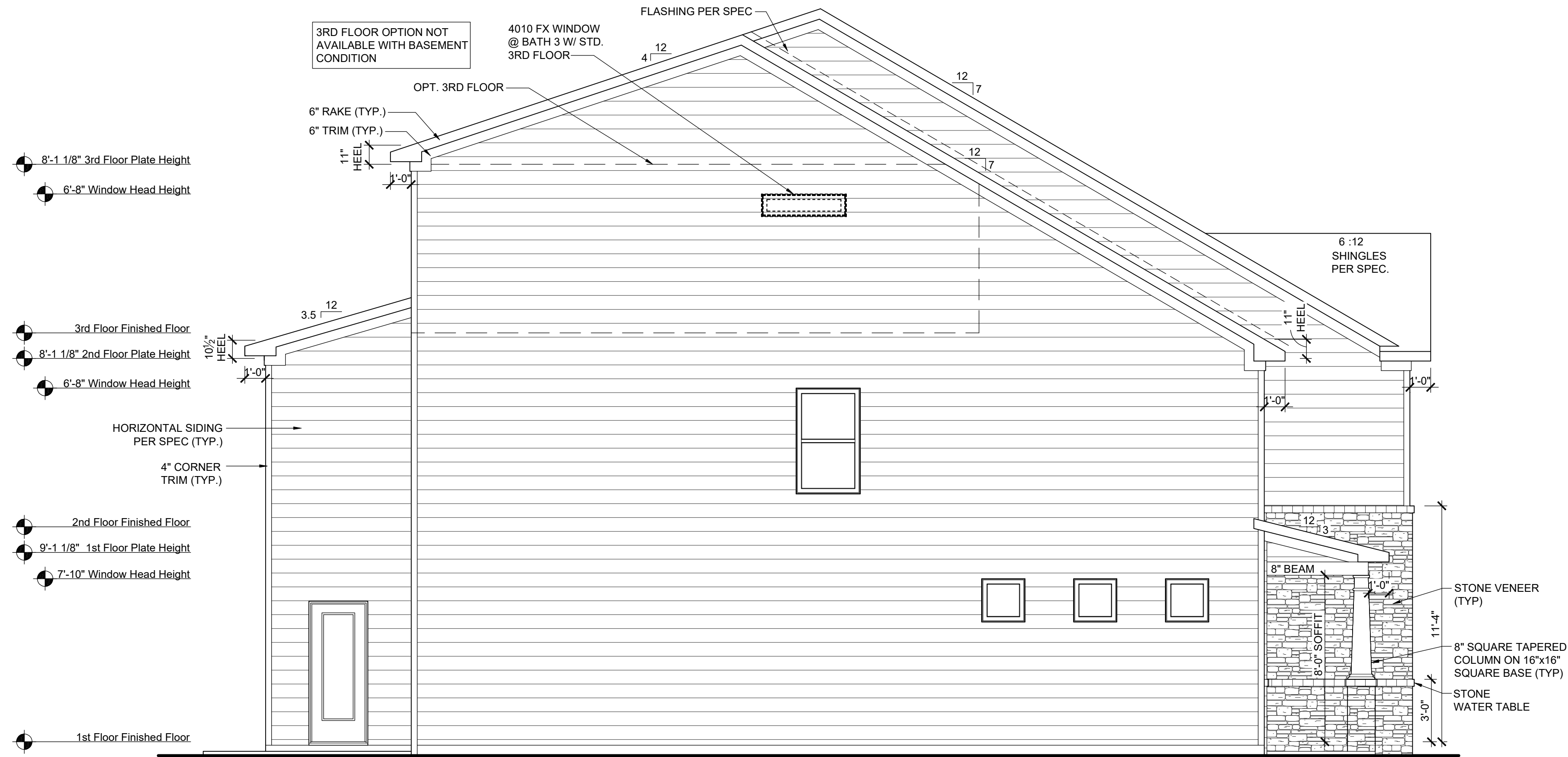
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Front Elevation ACA

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LEFT ELEVATION ACA

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



RIGHT ELEVATION ACA

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

LEFT FACADE PERCENTAGES

MATERIALS	S.F.	%
SIDING	1368	95
SHAKE	0	0
BOARD & BATT	0	0
HARDI BOARD	0	0
STONE VENEER	79	5
BRICK VENEER	0	0
TOTAL=		1447 100
MASONRY % =		5

RIGHT FACADE PERCENTAGES

MATERIALS	S.F.	%
SIDING	1406	100
SHAKE	0	0
BOARD & BATT	0	0
HARDI BOARD	0	0
STONE VENEER	1	0
BRICK VENEER	0	0
TOTAL=		1407 100
MASONRY % =		0

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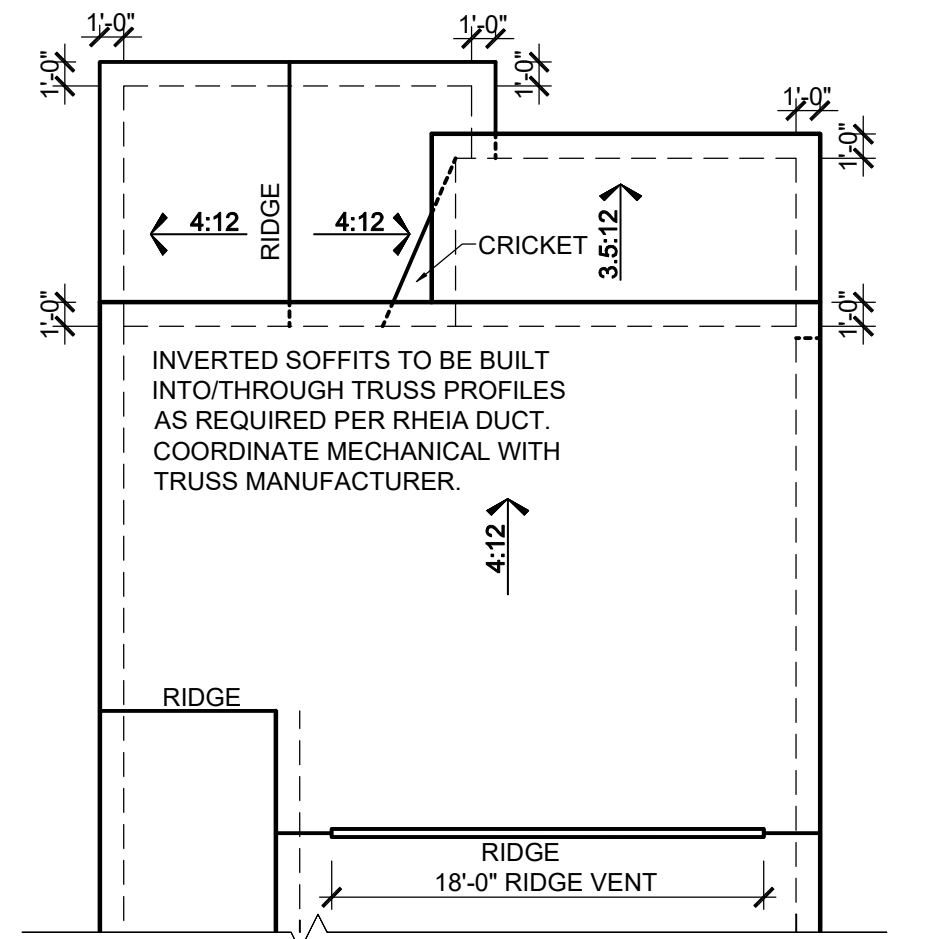
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Elevation Plans

Side Elevations ACA

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date: --

sheet number:
A-3.5



**ROOF PLAN
W/ OPT. COVERED PATIO**

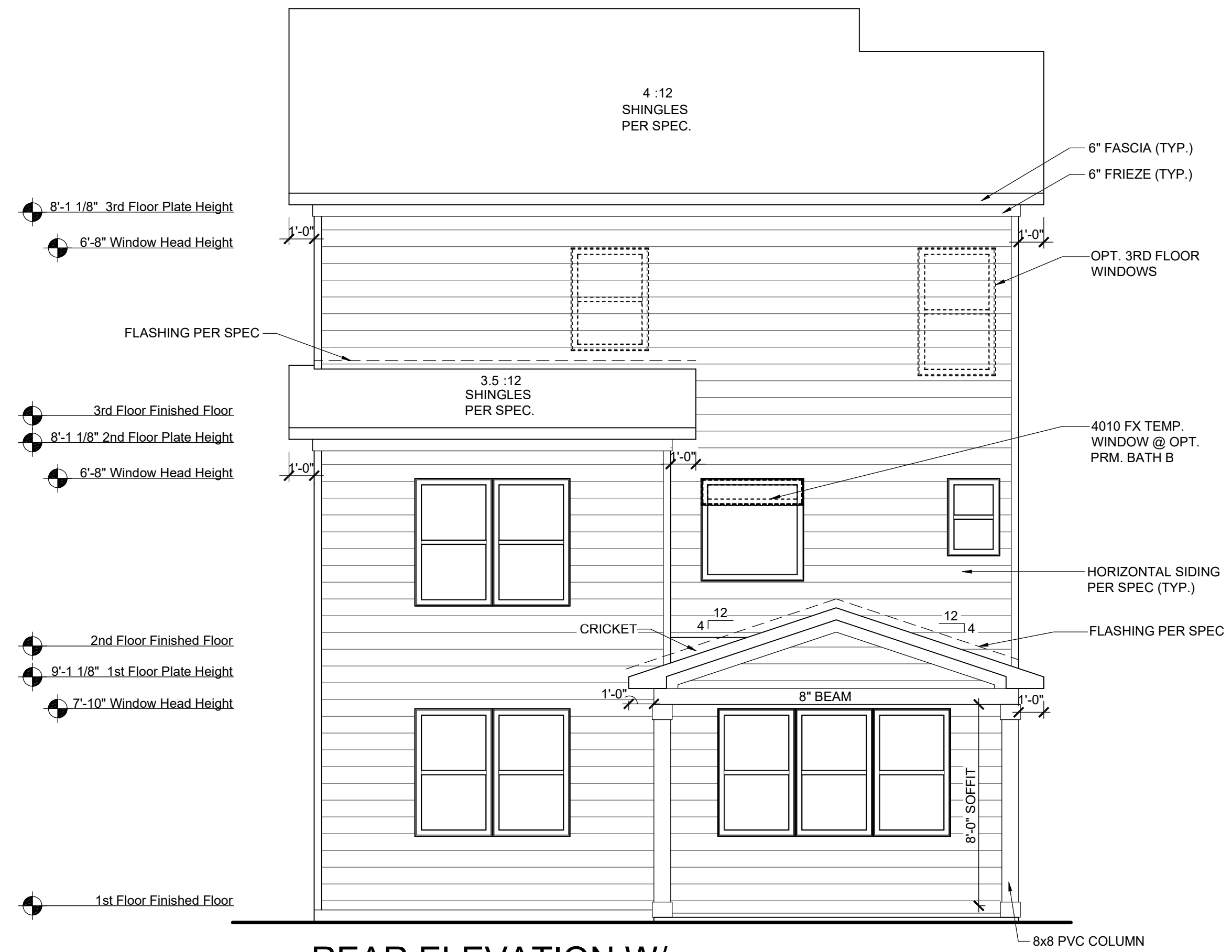
SCALE: 1/16"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/8"=1'-0" (24"x36" SHEET SIZE)

REAR FACADE PERCENTAGES		
MATERIALS	S.F.	%
SIDING	549	100
SHAKE	0	0
BOARD & BATT	0	0
HARDI BOARD	0	0
STONE VENEER	0	0
BRICK VENEER	0	0
TOTAL= 549		100
MASONRY % = 0		

COVERED PATIO

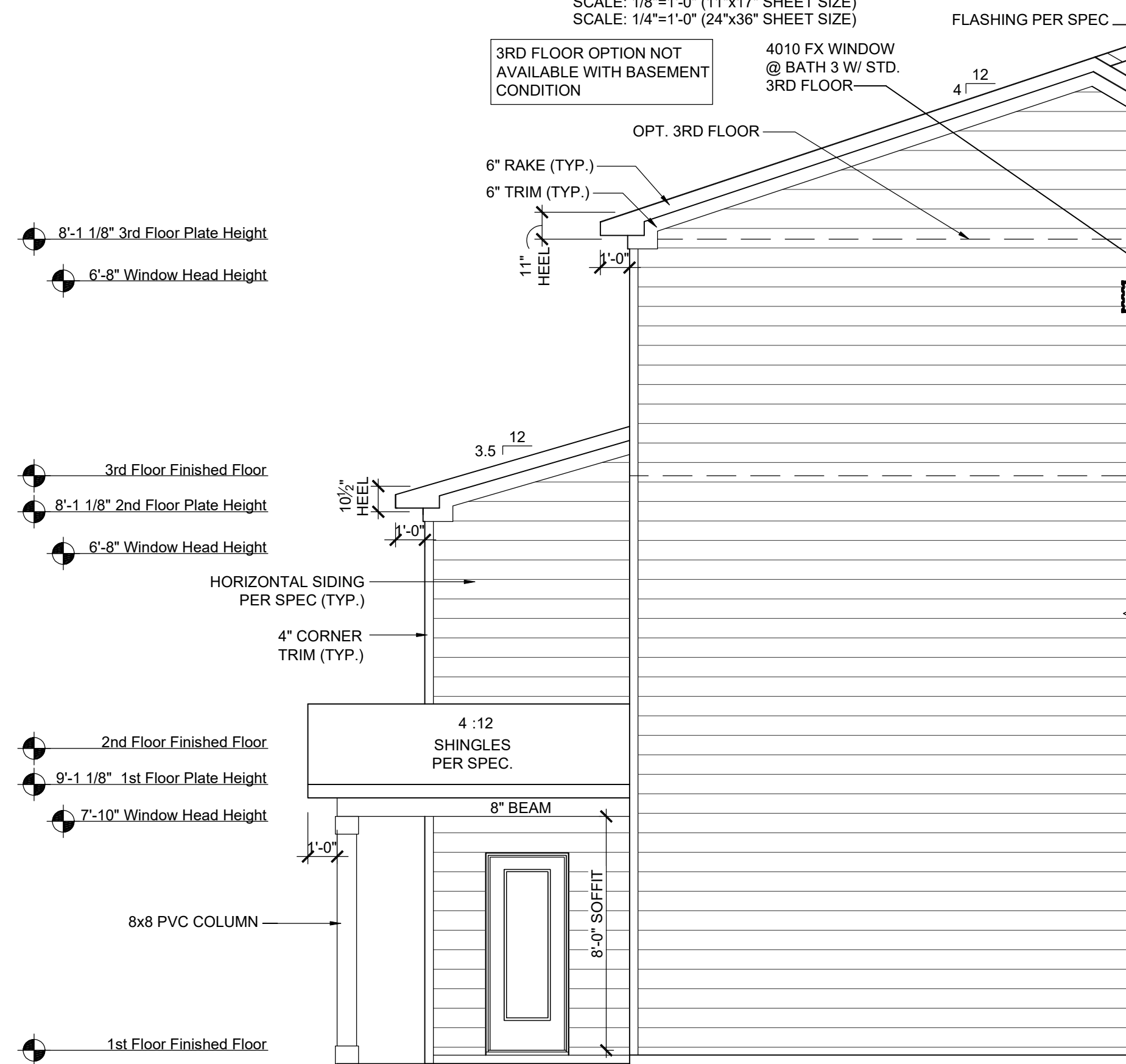
ATTIC VENT CALCULATION	
TOTAL SQ. FT. OF ROOF AREA: 138 SQ. FT. RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT	
((138 SQ FT x 1/150) x 144) / 2 = 66 SQ. IN.	
66 / 9 NFA OF SOFFIT VENT = 7	
ACTUAL RIDGE VENT PROVIDED: 0'	
ACTUAL SOFFIT VENT PROVIDED: 13'	

LEFT FACADE PERCENTAGES		
MATERIALS	S.F.	%
SIDING	1403	94
SHAKE	0	0
BOARD & BATT	0	0
HARDI BOARD	0	0
STONE VENEER	0	0
BRICK VENEER	86	6
TOTAL= 1489		100
MASONRY % = 6		



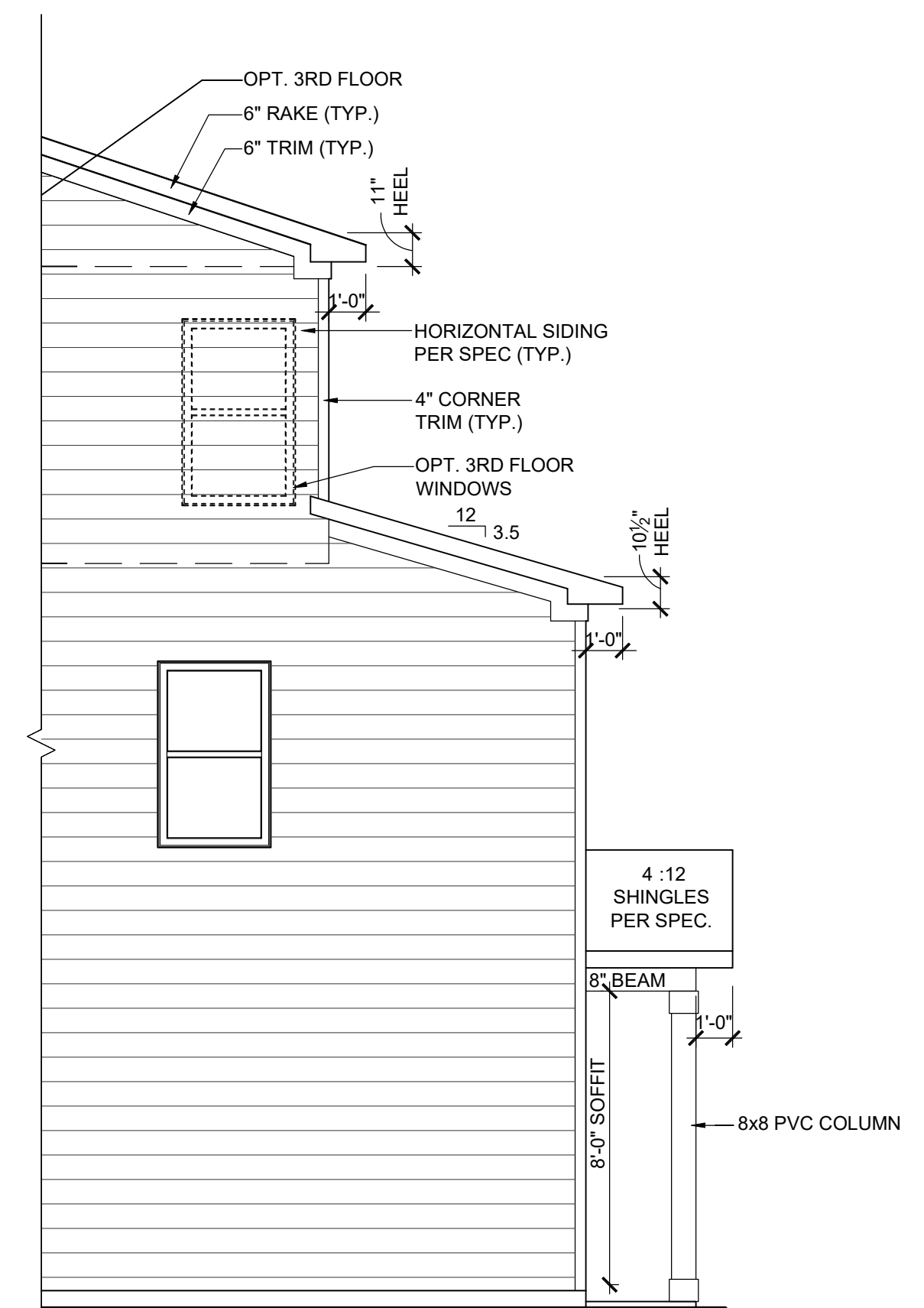
**REAR ELEVATION W/
OPT. COVERED PATIO**

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**LEFT ELEVATION W/
OPT. COVERED PATIO**

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**RIGHT ELEVATION W/
OPT. COVERED PATIO**

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

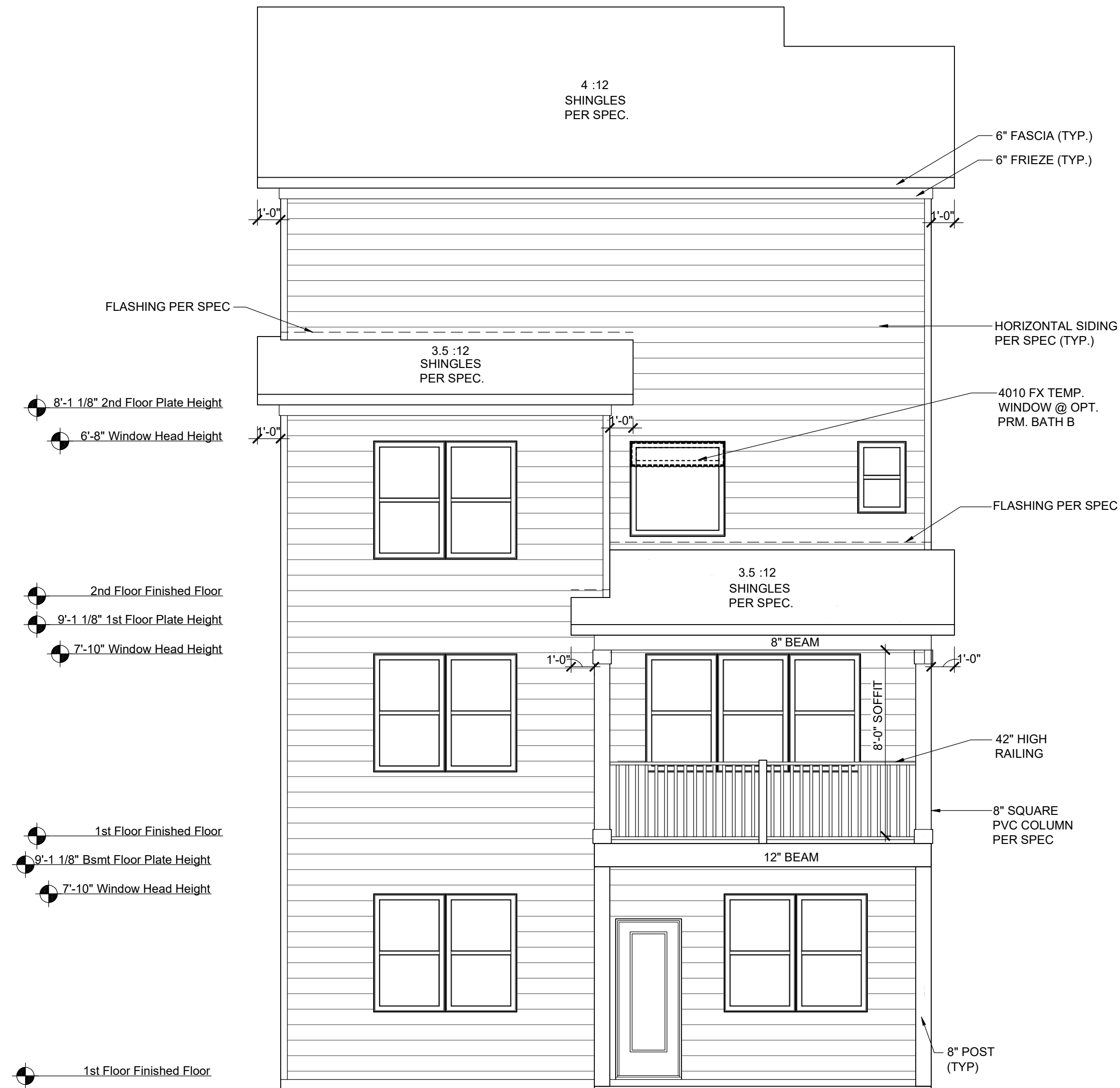
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REAR ELEVATION W/ OPT. COVERED DECK

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

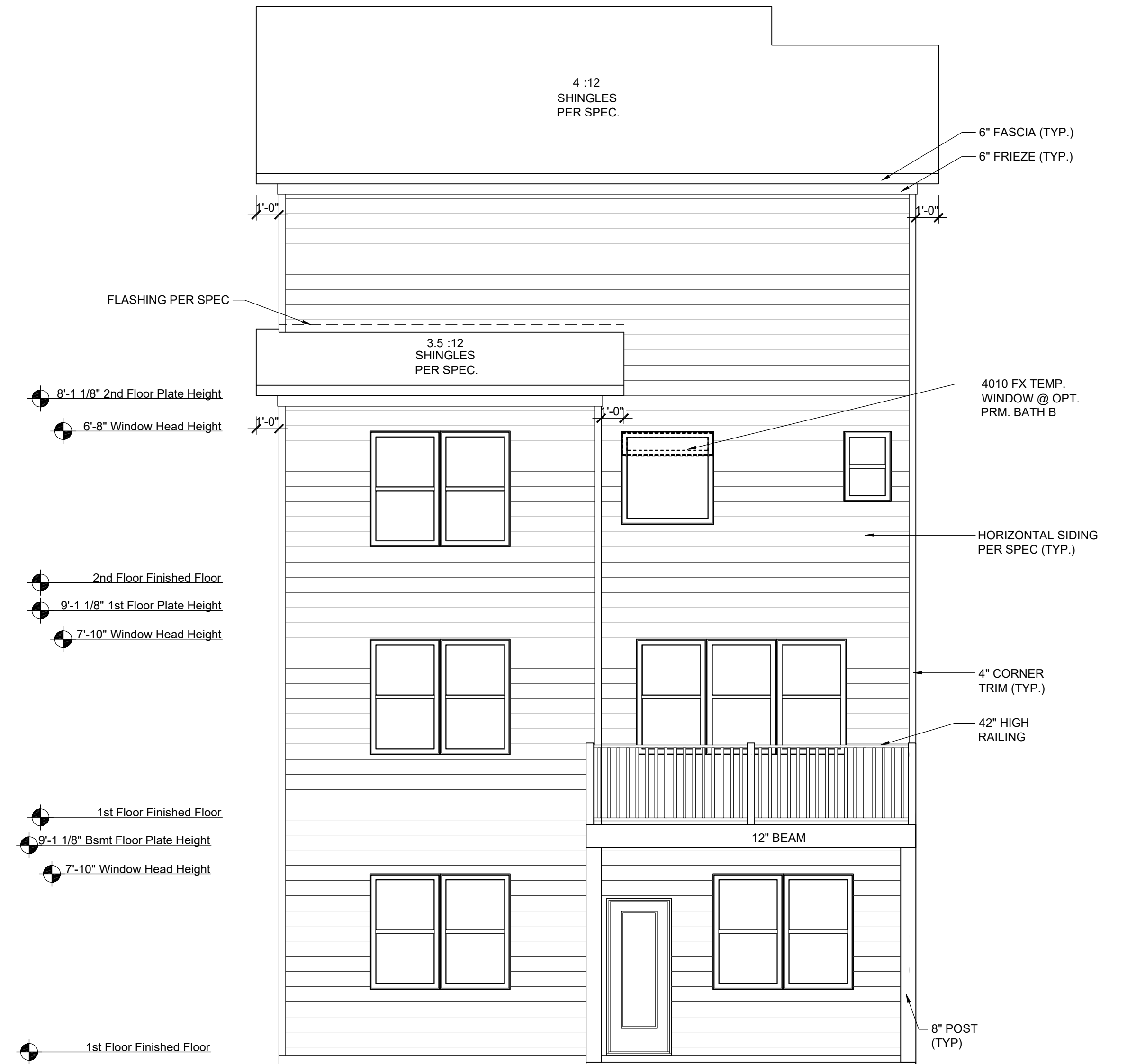
3RD FLOOR OPTION NOT AVAILABLE WITH BASEMENT CONDITION

REAR FACADE W/ OPT. BASEMENT PERCENTAGES

MATERIALS	S.F.	%
SIDING	818	100
SHAKE	0	0
BOARD & BATT	0	0
HARDI BOARD	0	0
STONE VENEER	0	0
BRICK VENEER	0	0
TOTAL=		818 100
MASONRY % =		0

REAR FACADE W/ OPT. COVERED DECK PERCENTAGES

MATERIALS	S.F.	%
SIDING	763	100
SHAKE	0	0
BOARD & BATT	0	0
HARDI BOARD	0	0
STONE VENEER	0	0
BRICK VENEER	0	0
TOTAL=		763 100
MASONRY % =		0



REAR ELEVATION W/ OPT. BASEMENT

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

3RD FLOOR OPTION NOT AVAILABLE WITH BASEMENT CONDITION

REV.	DATE
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Elevation Plans
Option Elevations

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**ATL E129
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AVONDALE PARK -

CORPORATE CONTACTS	DIVISION CONTACTS	CONSULTANT CONTACTS
BEAZER HOMES PLANNING AND DESIGN 1000 ABERNATHY ROAD SUITE 260 ATLANTA, GA 30328 PH: 770-392-2100	BEAZER HOMES DIVISION ADDRESS ADDRESS CITY, STATE ZIP CONTACT: PH: NUMBER FAX: NUMBER	CONSULTANT ADDRESS ADDRESS CITY, STATE ZIP PH: NUMBER FAX: NUMBER

REVISION SCHEDULE		
REV	DATE	DESCRIPTION
---	---	---

Square Footages			
Area	Elev TRA	Elev FHA	Elev ACA
First Floor	996 SF	996 SF	996 SF
Second Floor	1358 SF	1358 SF	1372 SF
Total Living	2354 SF	2354 SF	2368 SF
Garage	424 SF	424 SF	424 SF
Porch	41 SF	41 SF	41 SF
Total Under Roof	2819 SF	2819 SF	2833 SF

Square Footage Options	
Area	Square Footage
Opt. Covered Patio/Deck	118 SF
Opt. Finished Basement	840 SF
Opt. Unfinished Basement	929 SF
Opt. Third Floor	733 SF

Choice Plan Numbers	
Choice Kitchen A	CH5E0101
Choice Kitchen B	CH5H0101
Choice Primary Bath A	CH7F0201
Choice Primary Bath B	CH7G0201

DESIGN CODES

INTERNATIONAL RESIDENTIAL CODE 2018 EDITION - WITH ALL GEORGIA AMENDMENTS
 INTERNATIONAL FIRE CODE 2018 EDITION - WITH ALL GEORGIA AMENDMENTS
 INTERNATIONAL PLUMBING CODE 2018 EDITION - WITH ALL GEORGIA AMENDMENTS
 INTERNATIONAL MECHANICAL CODE 2018 EDITION - WITH ALL GEORGIA AMENDMENTS
 INTERNATIONAL FUEL GAS CODE 2018 EDITION - WITH ALL GEORGIA AMENDMENTS
 NATIONAL ELECTRICAL CODE 2017 EDITION
 INTERNATIONAL ENERGY CONSERVATION CODE 2015 EDITION - WITH ALL GEORGIA AMENDMENTS
 2018 LIFE SAFETY CODE W/ GEORGIA AMENDMENTS
 THIS PLAN SHALL CONFORM TO ALL BEAZER COMMUNITIES INC, CONSTRUCTION STANDARDS

Sheet List	
Sheet #	Description
CS-1.0	Cover Sheet
F-1.0	Slab Plan Elev TRA
F-1.1	Slab Plan Elev FHA
F-1.2	Slab Plan Elev ACA
F-3.0	Basement Plan
F-3.1	Basement Plan Partial
F-3.2	Finished Basement Plan
A-1.0	First Floor Plan
A-1.1	First Floor Plan Partial
A-1.2	First Floor Structural Options
A-2.0	Second Floor Plan
A-2.1	Second Floor Plan Partial
A-2.2	Third Floor Plan
A-3.0	Front Elevation TRA
A-3.1	Side Elevations TRA
A-3.2	Front Elevation FHA
A-3.3	Side Elevations FHA
A-3.4	Front Elevation ACA
A-3.5	Side Elevations ACA
A-3.6	Optional Covered Patio
A-3.7	Optional Basement Rear Elevations
A-4.0	Typical Sections
A-4.1	Typical Sections Basement
A-4.2	Typical Sections W/ Third Floor Plan
A-4.3	Typical Stair Sections
E-1.0	First Floor Electrical Plan
E-1.1	First Floor Electrical Partial Plans
E-1.2	First Floor Electrical Optional Plans
E-2.0	Second Floor Electrical Plan
E-2.1	Second Floor Electrical Partial Plans
E-2.2	Third Floor Electrical Plan
E-3.0	Basement Electrical - Unfinished Basement
E-3.1	Basement Electrical - Finished Basement

REV.	DATE
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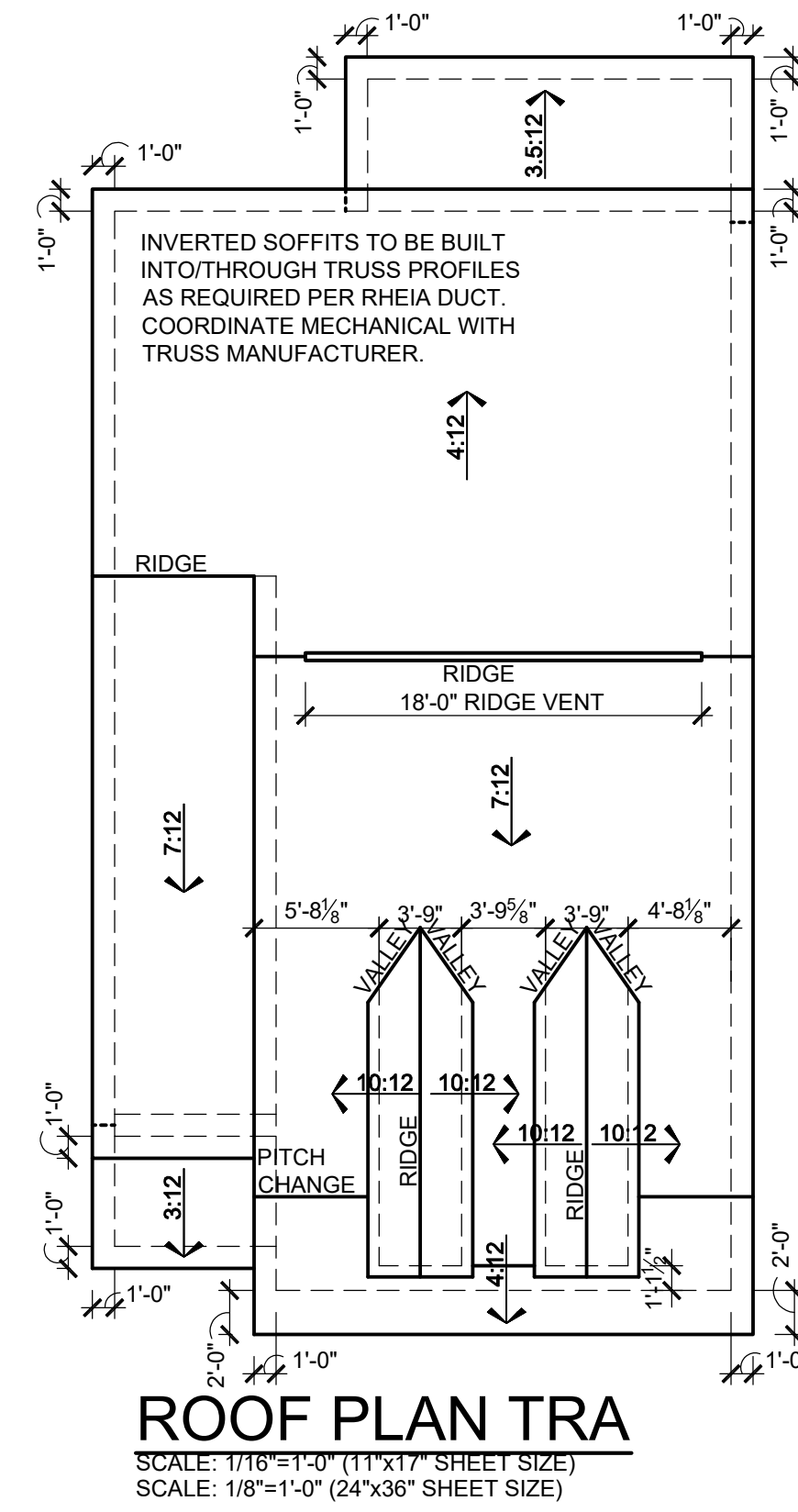
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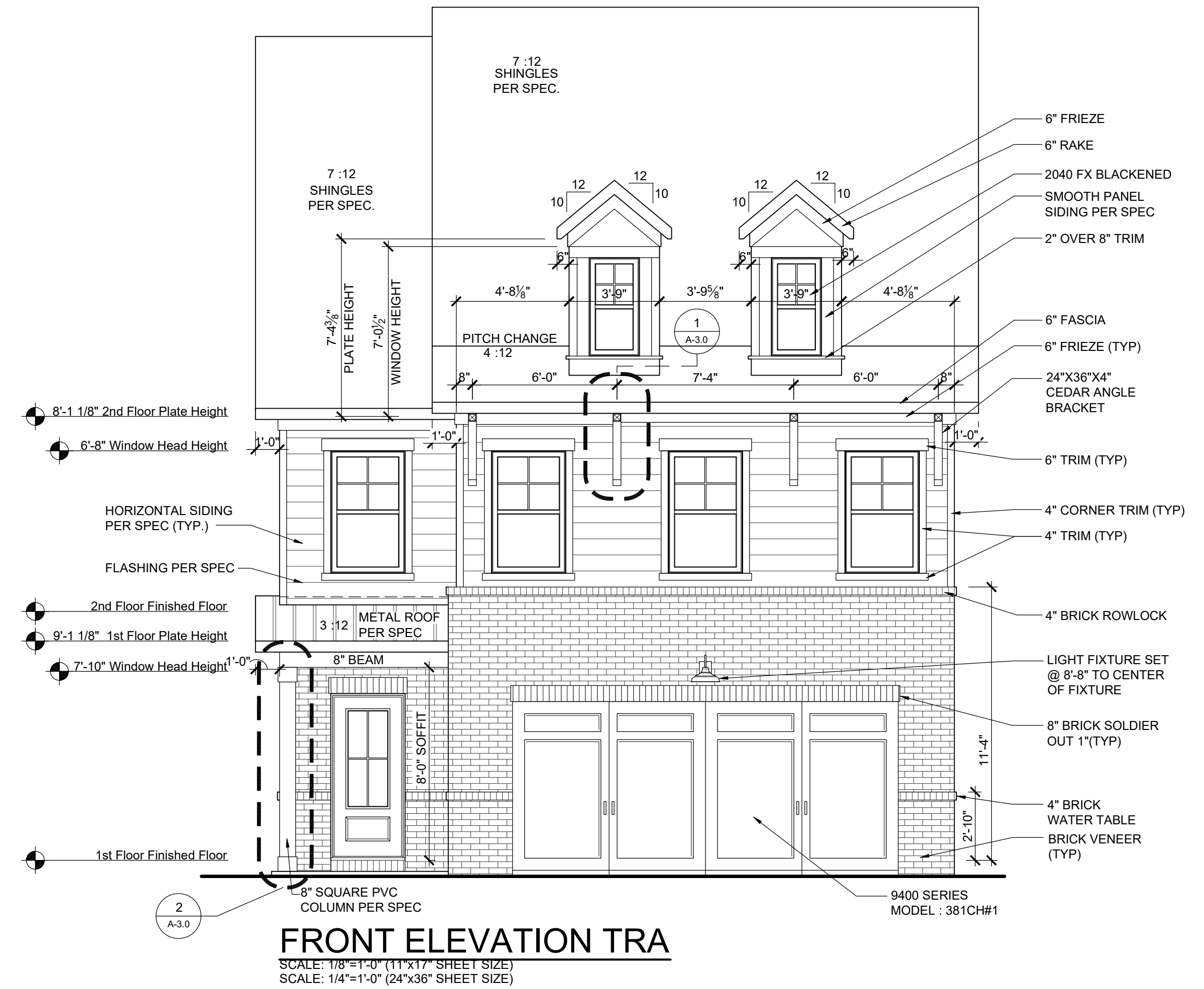
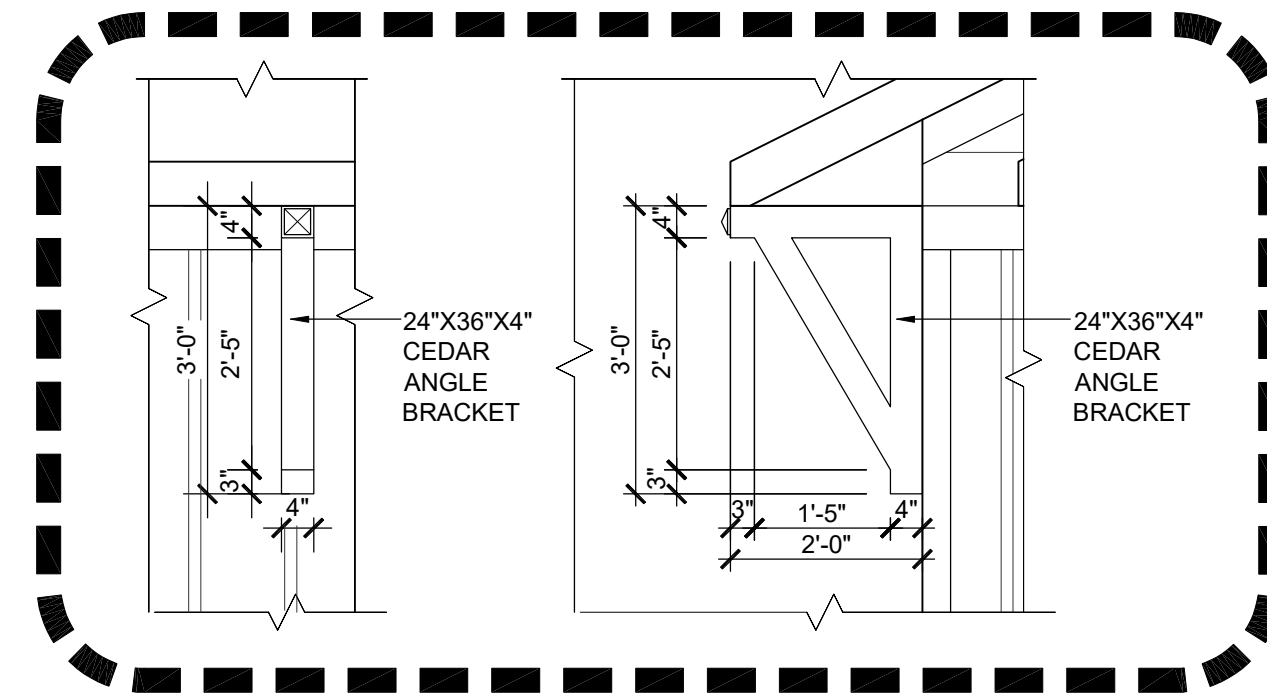
ATL E1291.0
Cover Sheets
Cover Sheet

drawn by: ---
 checked by: ---
 date: ---
 sheet number:
CS-1.0

AVONDALE PARK -



FRONT FACLDE PERCENTAGES		
MATERIALS	S.F.	%
SIDING	142	44
SHAKE	0	0
BOARD & BATT	0	0
HARDI BOARD	0	0
STONE VENEER	0	0
BRICK VENEER	178	56
TOTAL=		320 100
MASONRY % =		56



MAIN ROOF TRL

ATTIC VENT CALCULATION

TOTAL SQ. FT. OF ROOF AREA: 1321 SQ. FT.
RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT
SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT

$$((1321 \text{ SQ FT} \times 1/300) \times 144) / 2 = 317 \text{ SQ. IN.}$$

317 / 18 NFA OF RIDGE VENT = 18' REQUIRED
317 / 9 NFA OF SOFFIT VENT = 35' REQUIRED

ACTUAL RIDGE VENT PROVIDED: 18'
ACTUAL SOFFIT VENT PROVIDED: 56'

PORCH ROOF TRL

ATTIC VENT CALCULATION

TOTAL SQ. FT. OF ROOF AREA: 37 SQ. FT.
RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT
SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT

$$((37 \text{ SQ FT} \times 1/150) \times 144) / 2 = 18 \text{ SQ. IN.}$$

18 / 9 NFA OF SOFFIT VENT = 2

ACTUAL RIDGE VENT PROVIDED: 0'
ACTUAL SOFFIT VENT PROVIDED: 7'

PRIMARY BEDROOM ROOF TRL

ATTIC VENT CALCULATION

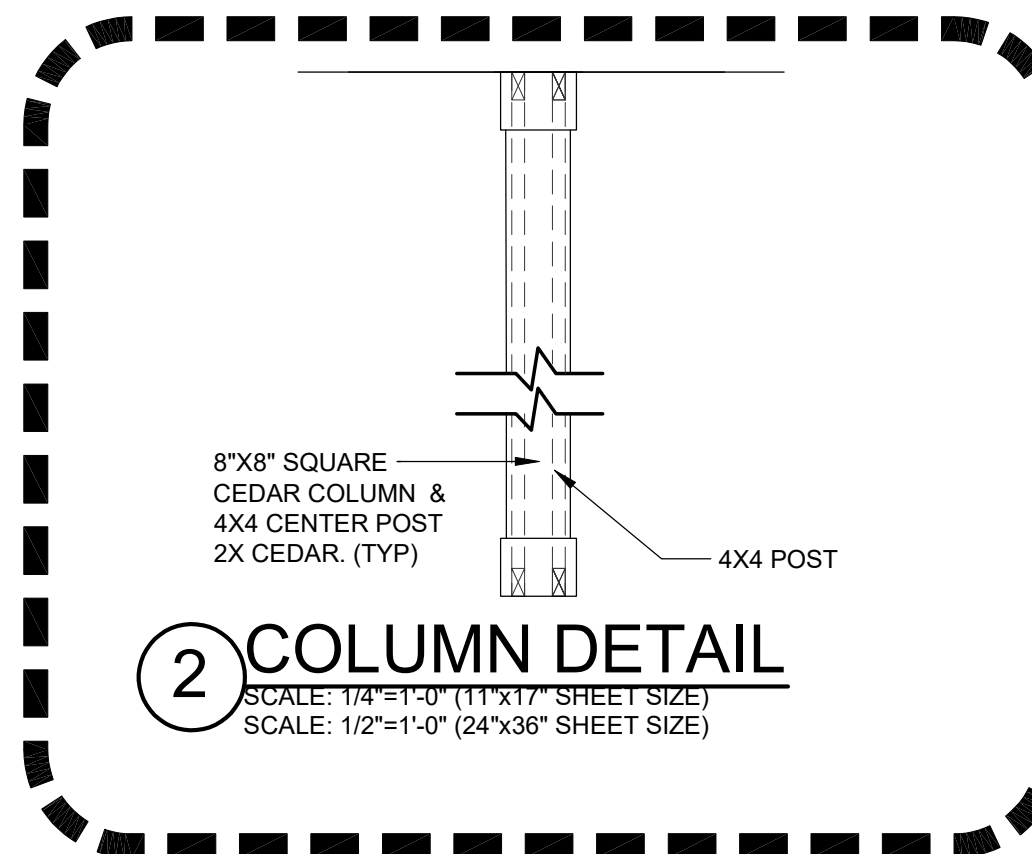
TOTAL SQ. FT. OF ROOF AREA: 99 SQ. FT.
RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT
SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT

$$((99 \text{ SQ FT} \times 1/150) \times 144) / 2 = 48 \text{ SQ. IN.}$$

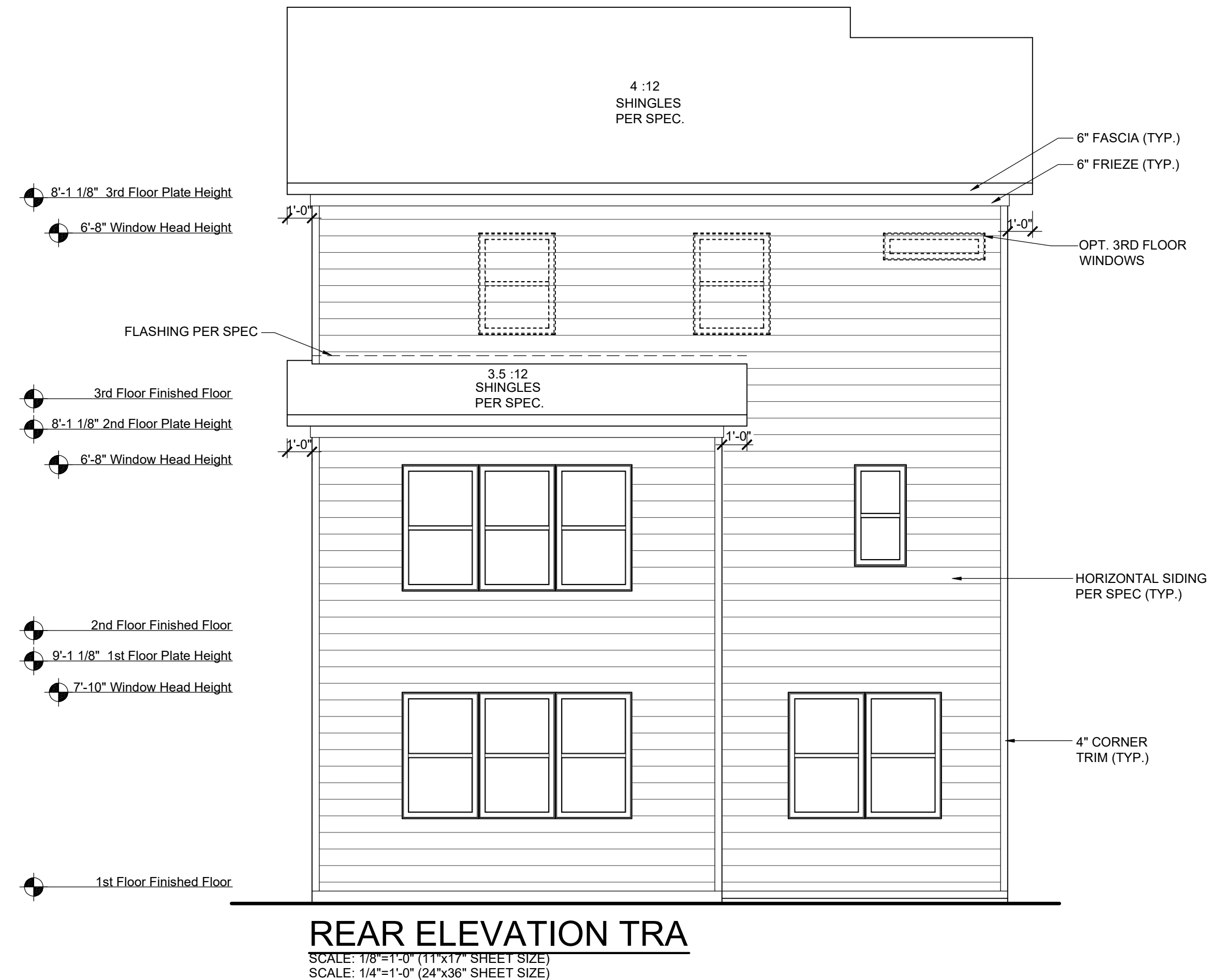
48 / 9 NFA OF SOFFIT VENT = 5

ACTUAL RIDGE VENT PROVIDED: 0'
ACTUAL SOFFIT VENT PROVIDED: 17'

2 COLUMN DETAIL



REAR FACLDE PERCENTAGES		
MATERIALS	S.F.	%
SIDING	597	100
SHAKE	0	0
BOARD & BATT	0	0
HARDI BOARD	0	0
STONE VENEER	0	0
BRICK VENEER	0	0
TOTAL=		597 100
MASONRY % =		0



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Elevation Plans
Front Elevation TRA

drawn by: ---
checked by: ---
date: ---
sheet number:
A-3.0



LEFT ELEVATION TRA
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

LEFT FACLDE PERCENTAGES		
MATERIALS	S.F.	%
SIDING	1401	94
SHAKE	0	0
BOARD & BATT	0	0
HARDI BOARD	0	0
STONE VENEER	0	0
BRICK VENEER	88	6
TOTAL=		1489 100
MASONRY % =		6



RIGHT ELEVATION TRA
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

RIGHT FACLDE PERCENTAGES		
MATERIALS	S.F.	%
SIDING	1475	100
SHAKE	0	0
BOARD & BATT	0	0
HARDI BOARD	0	0
STONE VENEER	0	0
BRICK VENEER	4	0
TOTAL=		1479 100
MASONRY % =		0

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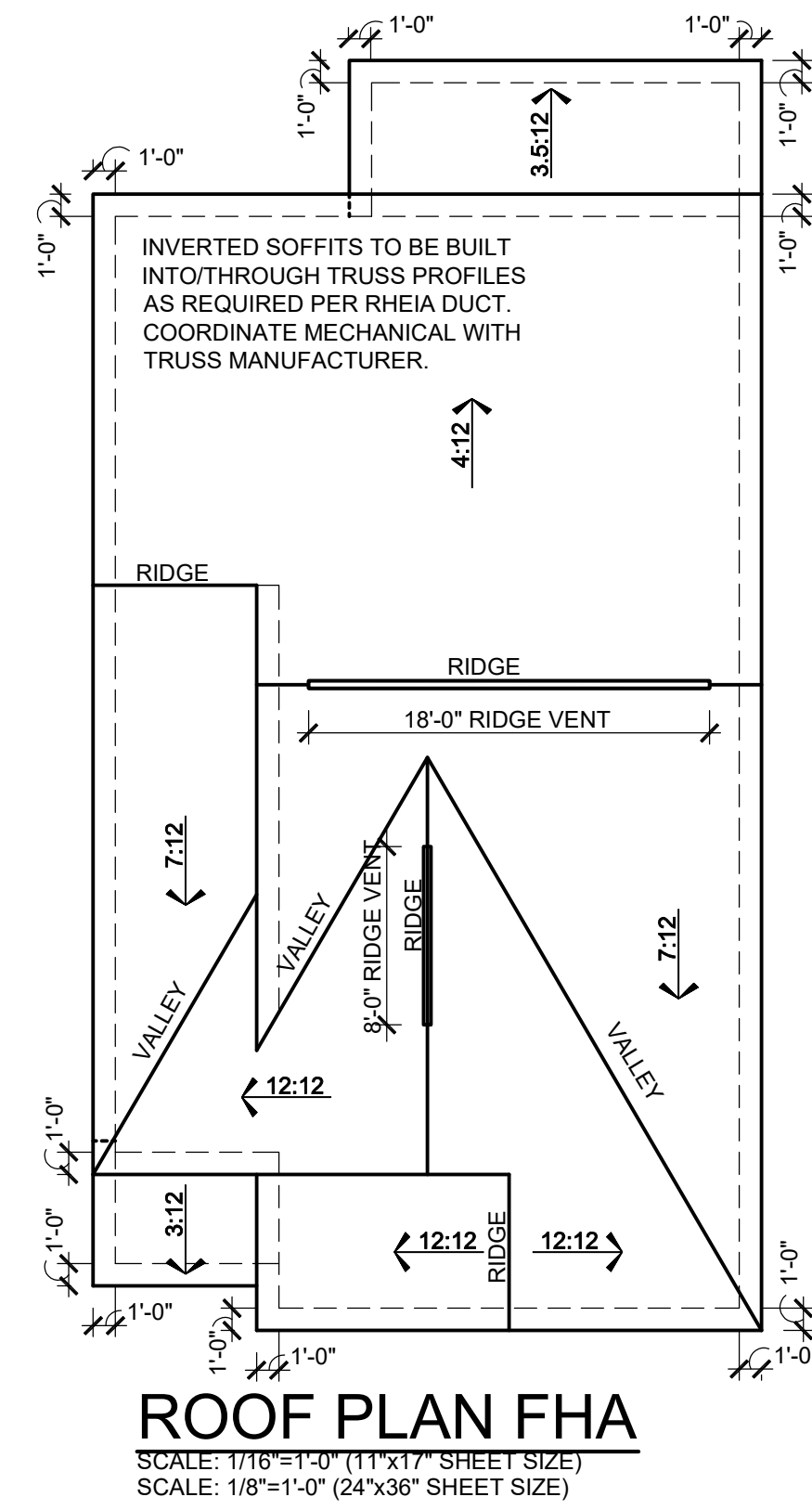


ATL E1291.0
Elevation Plans
Side Elevations TRA

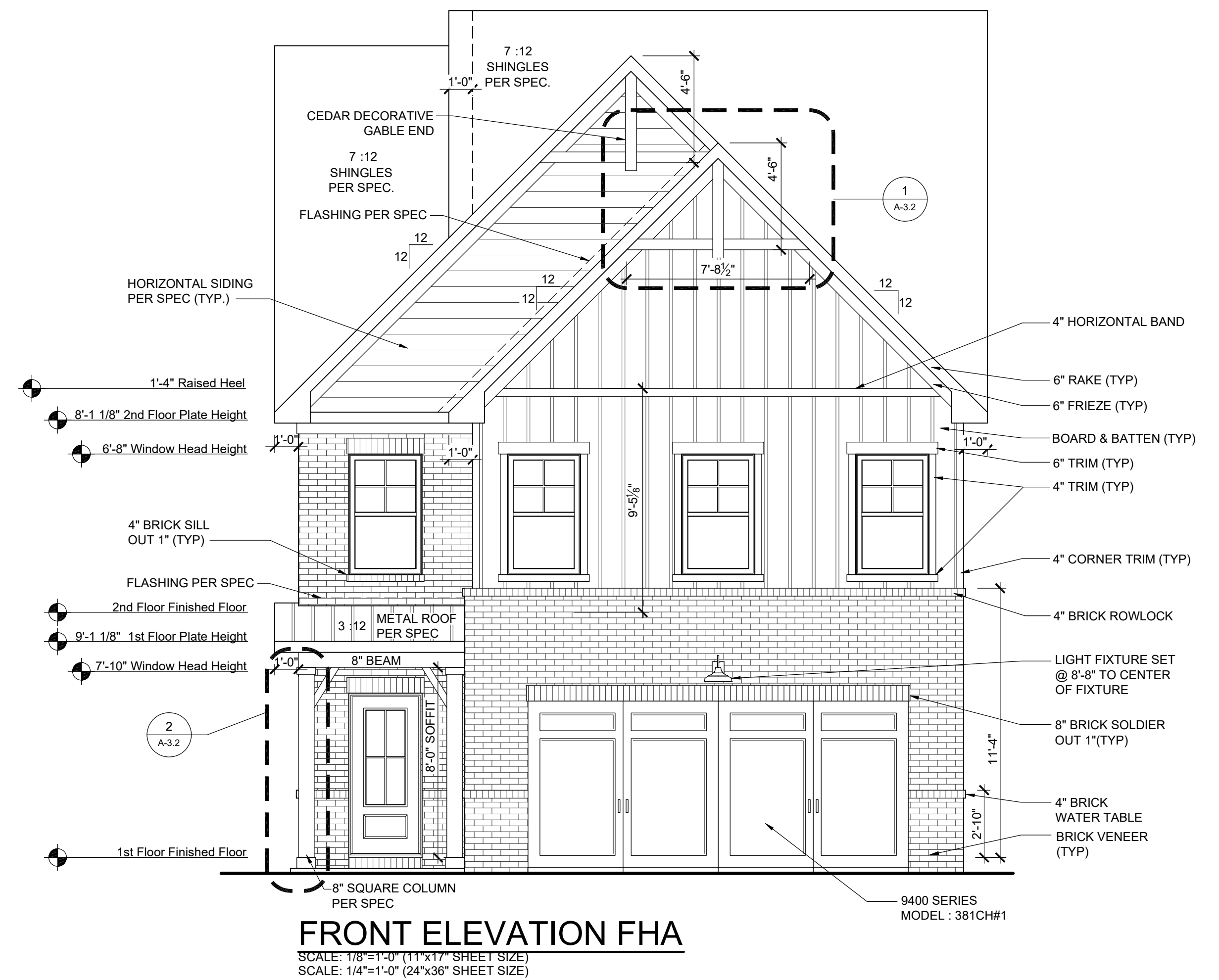
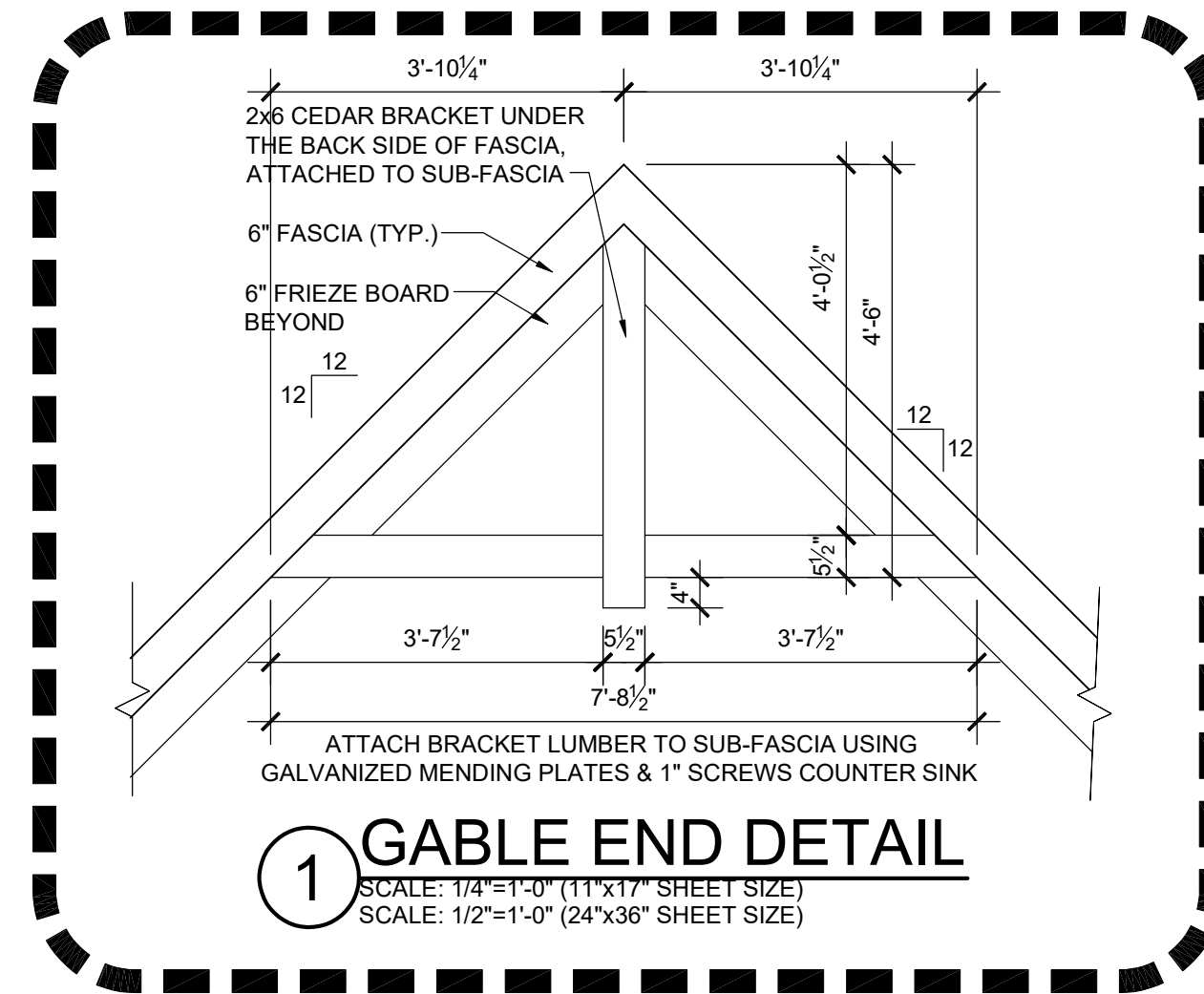
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 checked by: --
 date: --

sheet number:
A-3.1

AVONDALE PARK -



FRONT FACLDE PERCENTAGES		
MATERIALS	S.F.	%
SIDING	74	15
SHAKE	0	0
BOARD & BATT	206	41
HARDI BOARD	0	0
STONE VENEER	0	0
BRICK VENEER	219	44
TOTAL=		499 100
MASONRY % =		44



MAIN ROOF FHL

ATTIC VENT CALCULATION

TOTAL SQ. FT. OF ROOF AREA: 1321 SQ. FT.
RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT
SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT

$$((1321 \text{ SQ. FT.} \times 1/300) \times 144) / 2 = 317 \text{ SQ. IN.}$$

317 / 18 NFA OF RIDGE VENT = 26' REQUIRED
317 / 9 NFA OF SOFFIT VENT = 35' REQUIRED

ACTUAL RIDGE VENT PROVIDED: 26'
ACTUAL SOFFIT VENT PROVIDED: 36'

PORCH ROOF FHL

ATTIC VENT CALCULATION

TOTAL SQ. FT. OF ROOF AREA: 37 SQ. FT.
RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT
SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT

$$((37 \text{ SQ. FT.} \times 1/150) \times 144) / 2 = 18 \text{ SQ. IN.}$$

18 / 9 NFA OF SOFFIT VENT = 2

ACTUAL RIDGE VENT PROVIDED: 0'
ACTUAL SOFFIT VENT PROVIDED: 7'

PRIMARY BEDROOM ROOF FHL

ATTIC VENT CALCULATION

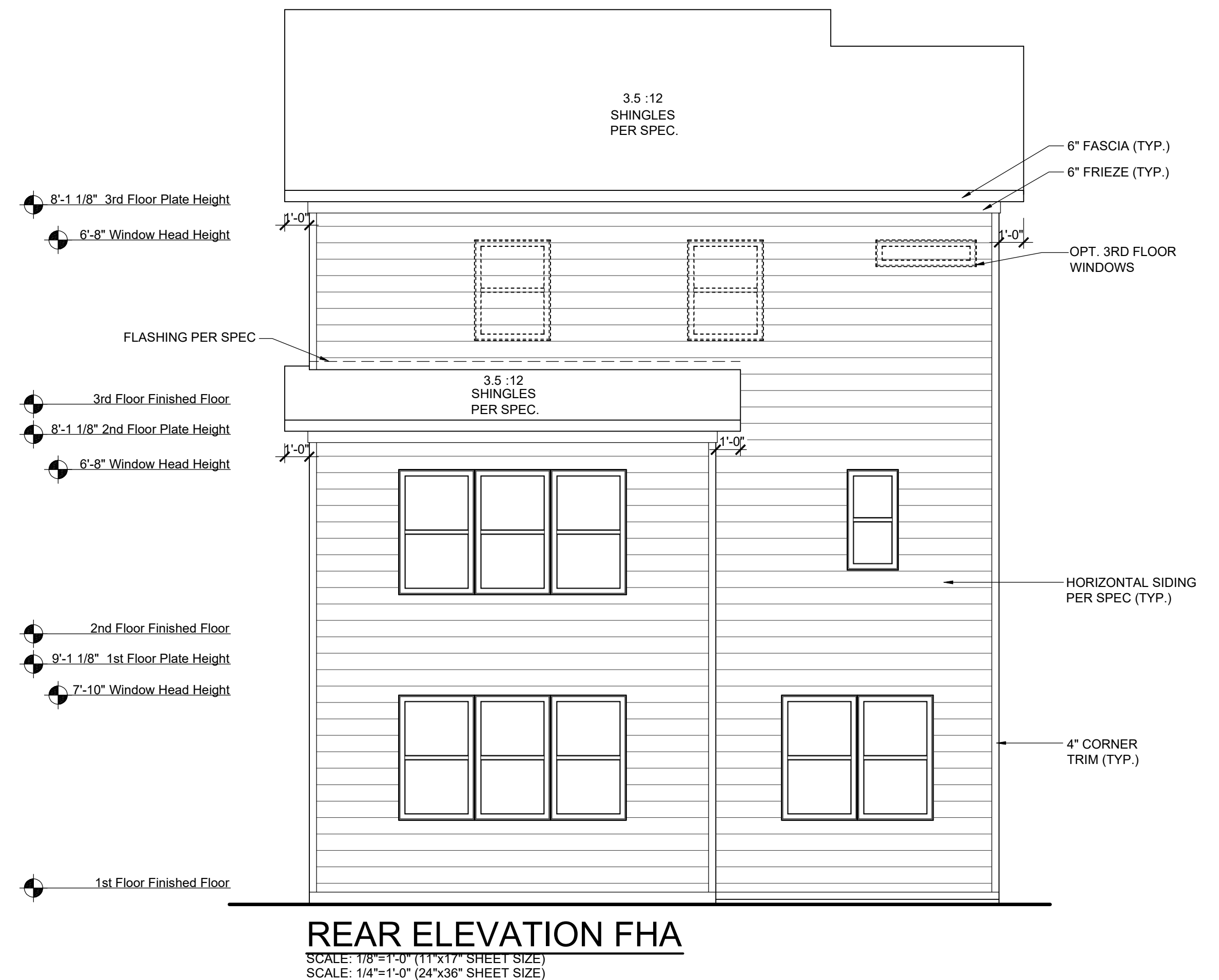
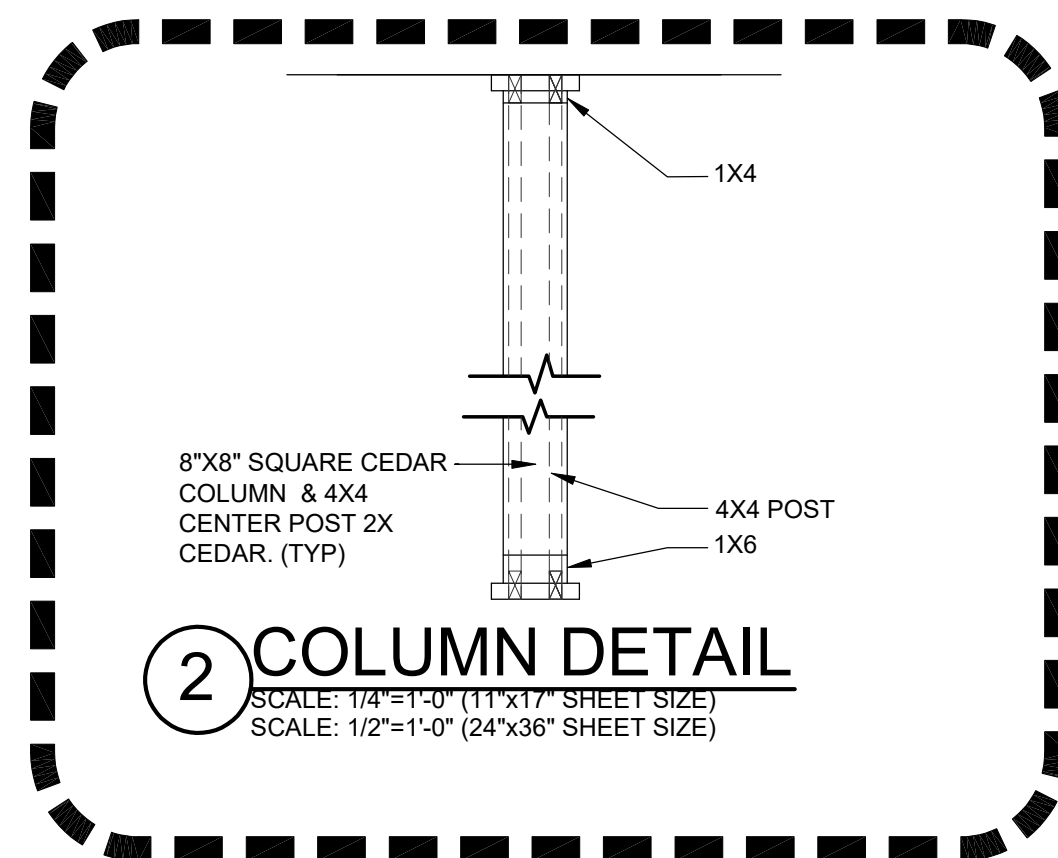
TOTAL SQ. FT. OF ROOF AREA: 99 SQ. FT.
RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT
SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT

$$((99 \text{ SQ. FT.} \times 1/150) \times 144) / 2 = 48 \text{ SQ. IN.}$$

48 / 9 NFA OF SOFFIT VENT = 5

ACTUAL RIDGE VENT PROVIDED: 0'
ACTUAL SOFFIT VENT PROVIDED: 17'

REAR FACLDE PERCENTAGES		
MATERIALS	S.F.	%
SIDING	598	100
SHAKE	0	0
BOARD & BATT	0	0
HARDI BOARD	0	0
STONE VENEER	0	0
BRICK VENEER	0	0
TOTAL=		598 100
MASONRY % =		0



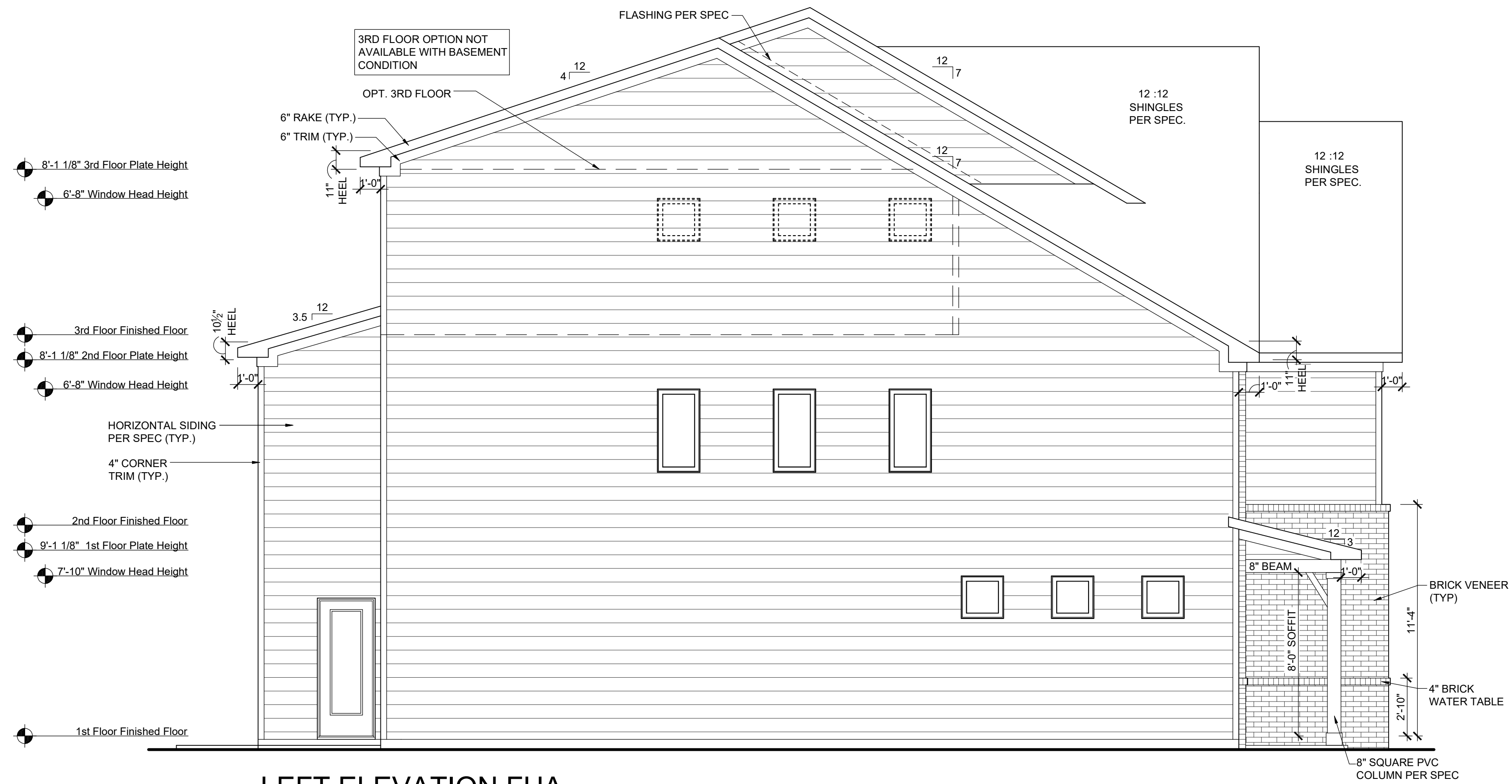
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Elevation Plans
Front Elevation FHA

drawn by: --
checked by: --
date: --
sheet number:
A-3.2



LEFT ELEVATION FHA

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

LEFT FACLDE PERCENTAGES		
MATERIALS	S.F.	%
SIDING	1331	94
SHAKE	0	0
BOARD & BATT	0	0
HARDI BOARD	0	0
STONE VENEER	0	0
BRICK VENEER	90	6
TOTAL=		1421 100
MASONRY % =		6



RIGHT ELEVATION FHA

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

RIGHT FACLDE PERCENTAGES		
MATERIALS	S.F.	%
SIDING	1456	100
SHAKE	0	0
BOARD & BATT	0	0
HARDI BOARD	0	0
STONE VENEER	0	0
BRICK VENEER	4	0
TOTAL=		1460 100
MASONRY % =		0

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REV.	DATE
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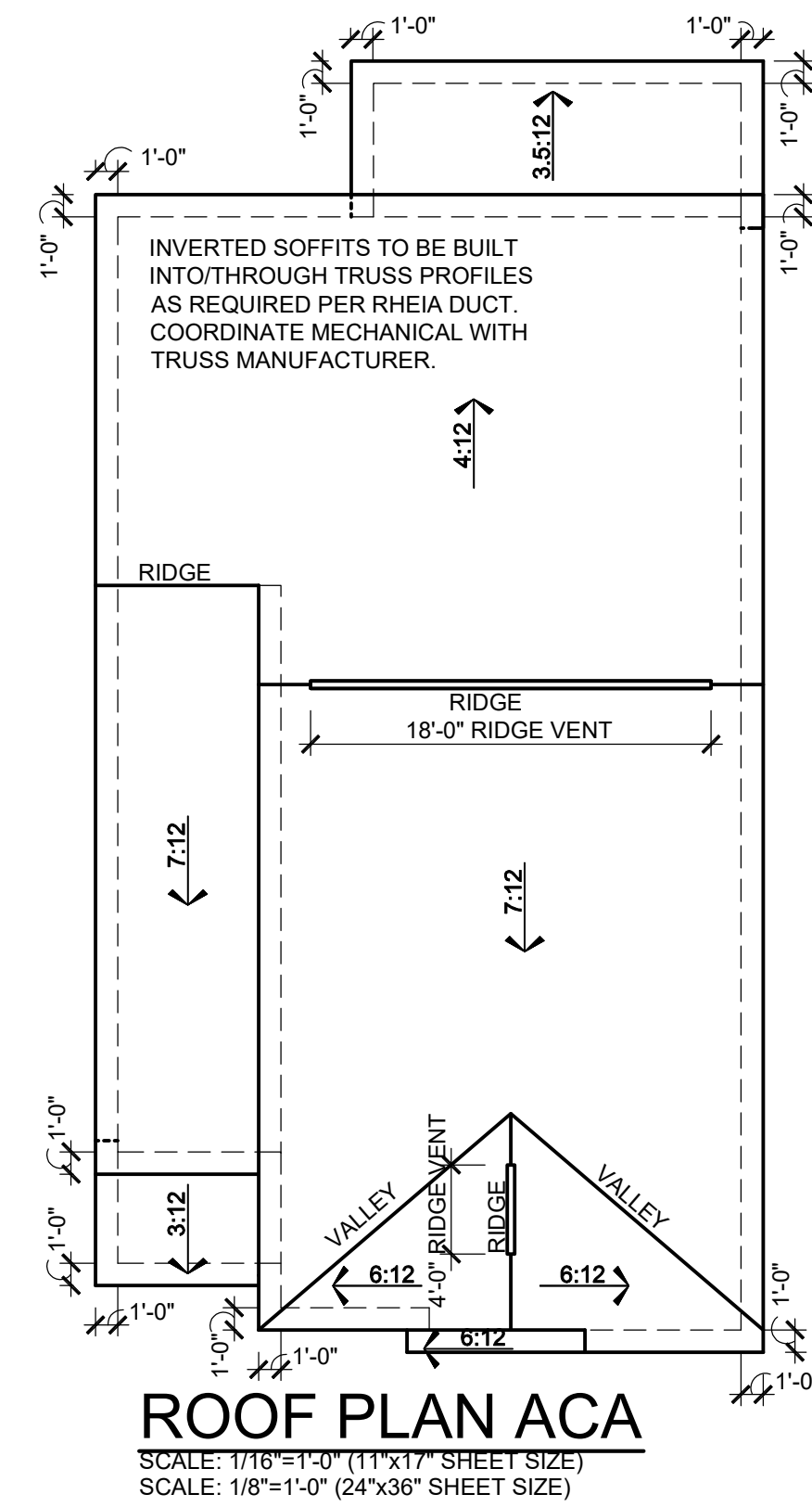


ATL E1291.0
Elevation Plans
Side Elevations FHA

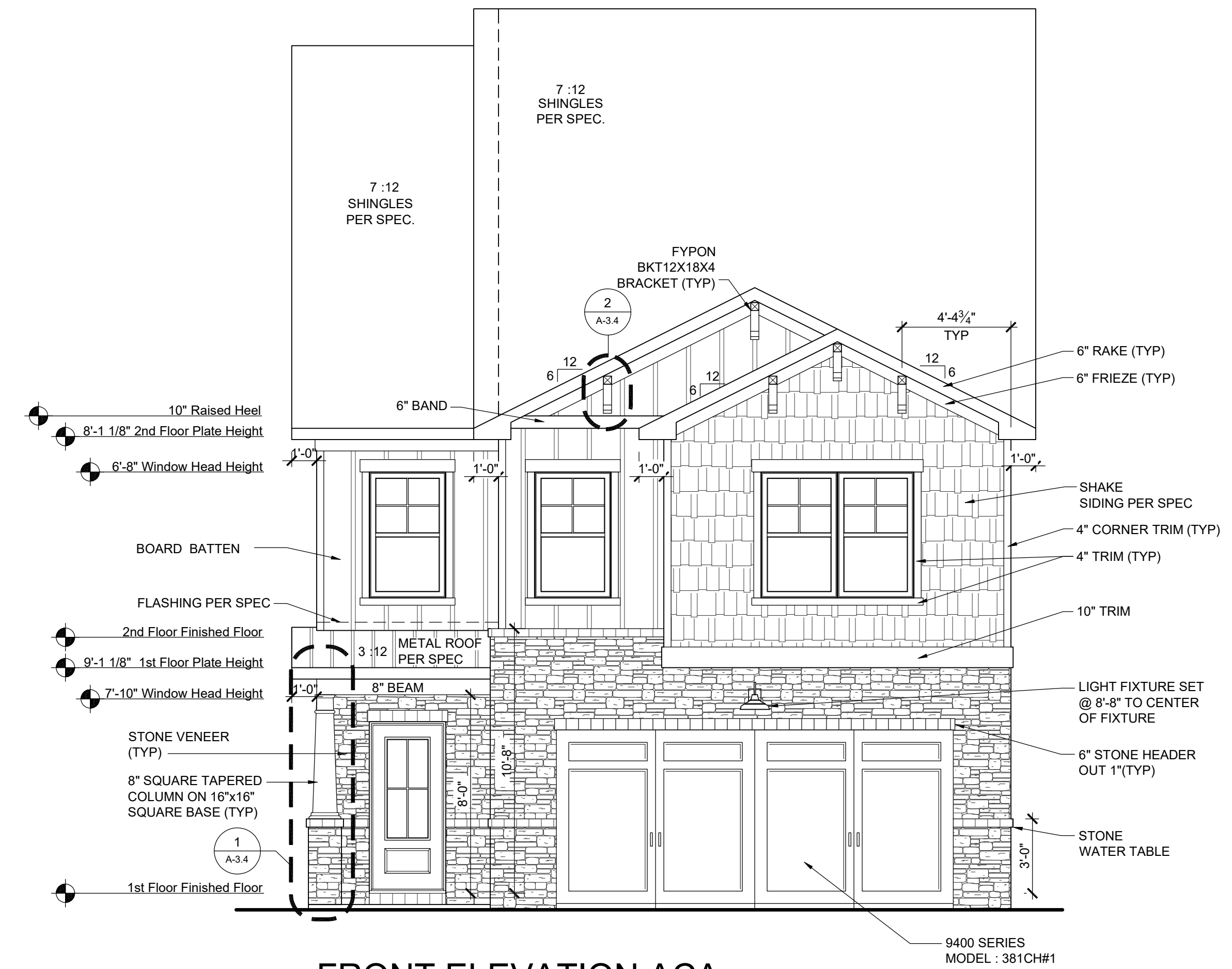
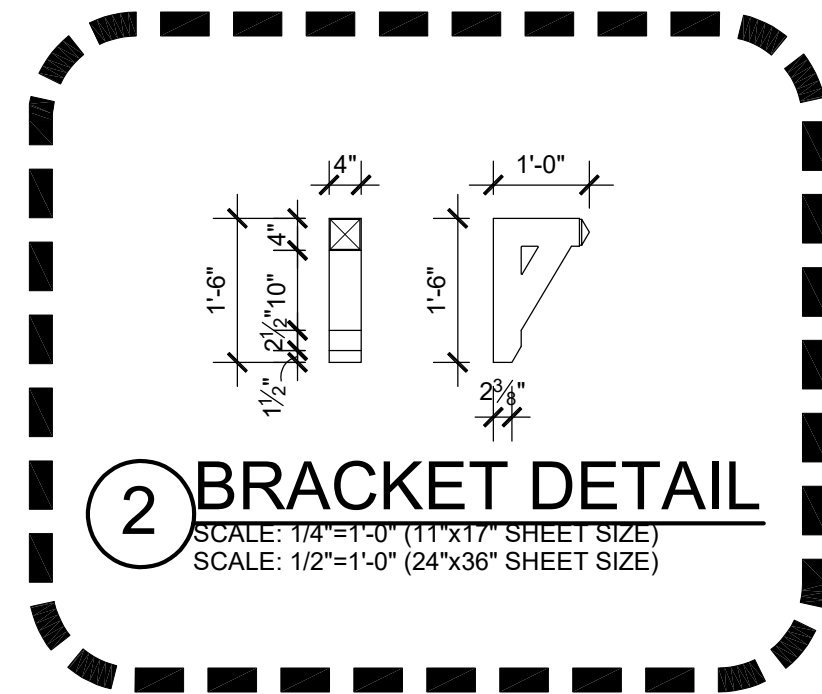
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checked by: --
date: --

sheet number:
A-3.3

AVONDALE PARK -

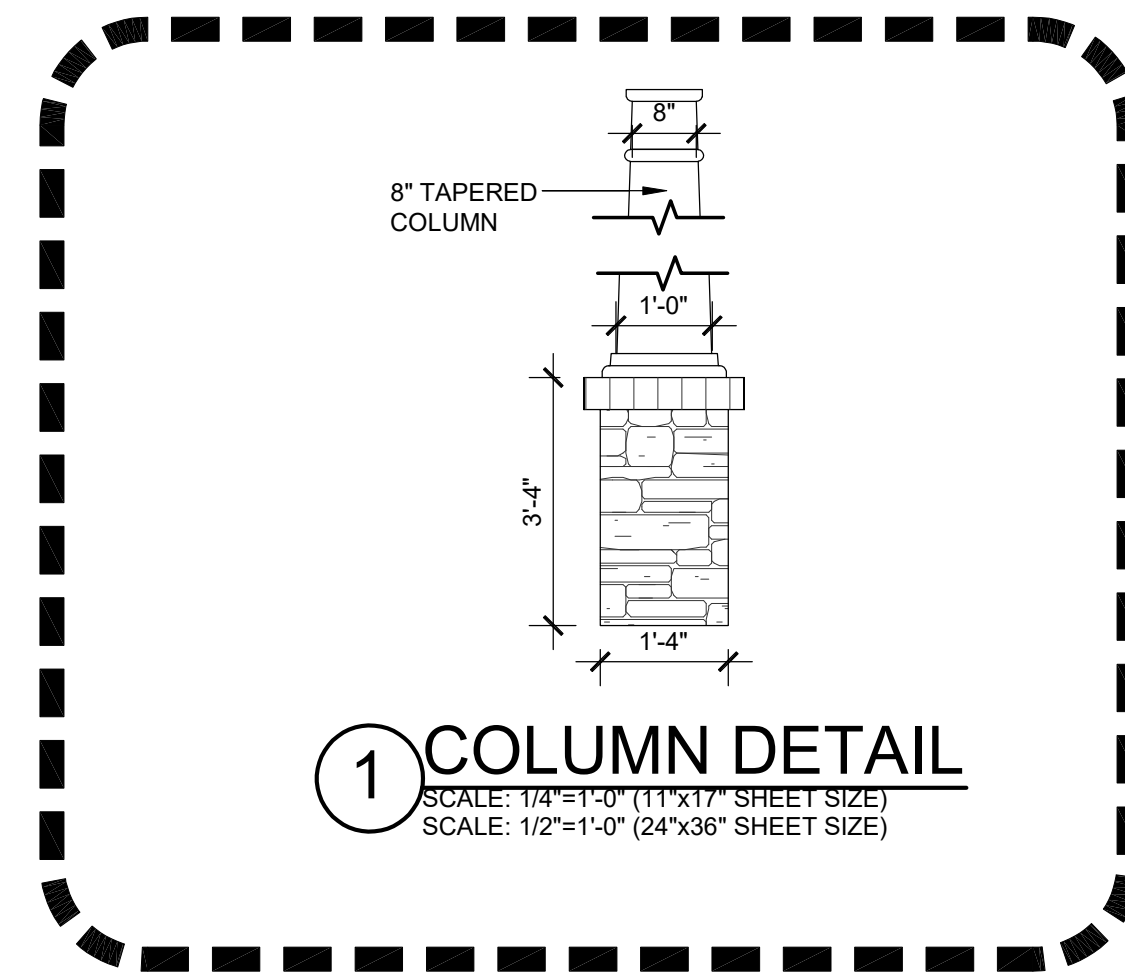


FRONT FACLDE PERCENTAGES		
MATERIALS	S.F.	%
SIDING	0	0
SHAKE	116	33
BOARD & BATT	101	29
HARDI BOARD	0	0
STONE VENEER	137	39
BRICK VENEER	0	0
TOTAL=		354 100
MASONRY % =		39



MAIN ROOF ACL

ATTIC VENT CALCULATION	
TOTAL SQ. FT. OF ROOF AREA:	1335 SQ. FT.
RIDGE VENT NET FREE AREA:	18 SQ. IN. PER LINEAL FOOT
SOFFIT VENT NET FREE AREA:	9 SQ. IN. PER LINEAL FOOT
((1335 SQ FT x 1/300) x 144) / 2 = 320 SQ. IN.	
320 / 18	NFA OF RIDGE VENT = 22' REQUIRED
320 / 9	NFA OF SOFFIT VENT = 36' REQUIRED
ACTUAL RIDGE VENT PROVIDED: 22'	
ACTUAL SOFFIT VENT PROVIDED: 36'	



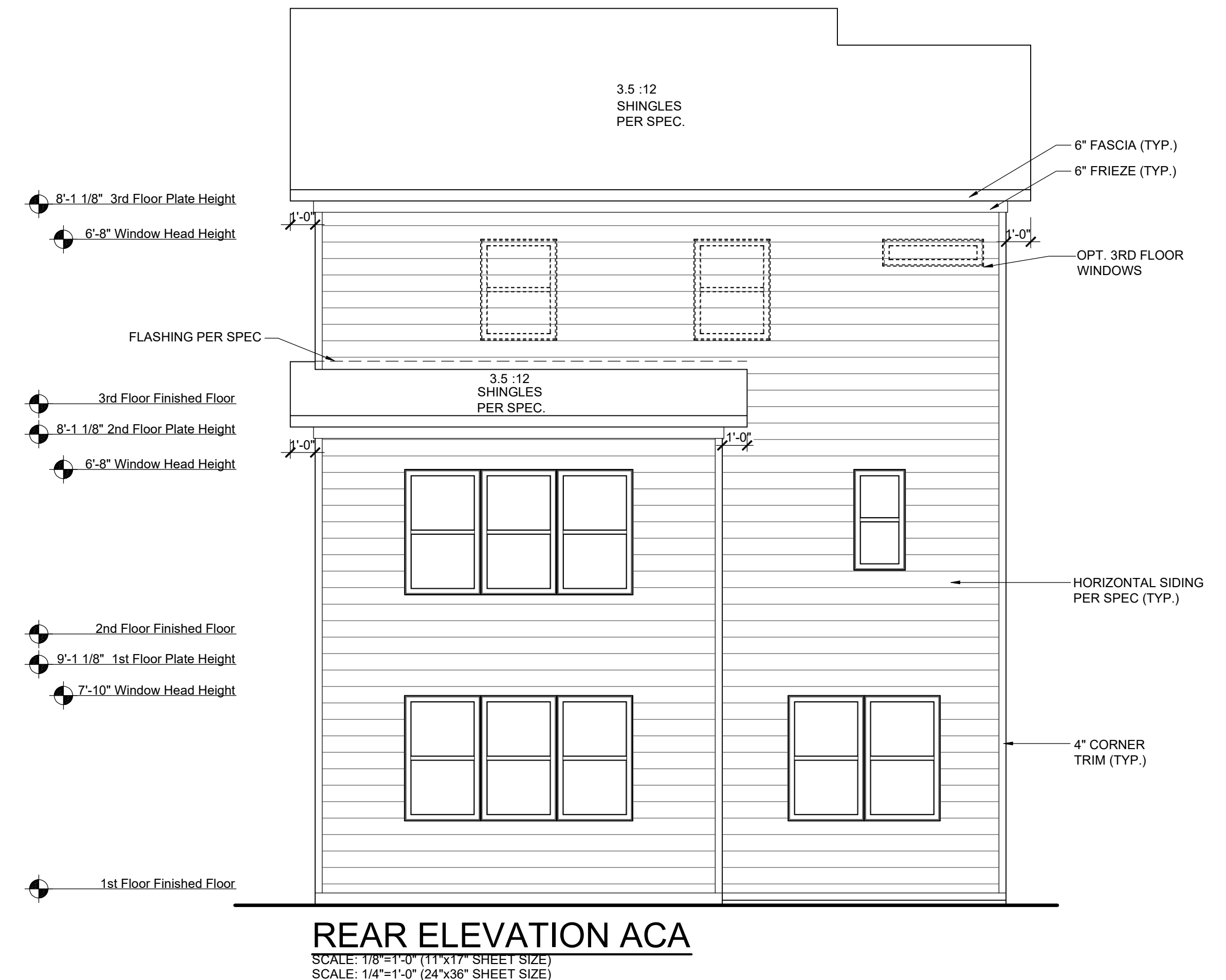
PORCH ROOF ACL

ATTIC VENT CALCULATION	
TOTAL SQ. FT. OF ROOF AREA:	37 SQ. FT.
RIDGE VENT NET FREE AREA:	18 SQ. IN. PER LINEAL FOOT
SOFFIT VENT NET FREE AREA:	9 SQ. IN. PER LINEAL FOOT
((37 SQ FT x 1/150) x 144) / 2 = 18 SQ. IN.	
18 / 9	NFA OF SOFFIT VENT = 2
ACTUAL RIDGE VENT PROVIDED: 0'	
ACTUAL SOFFIT VENT PROVIDED: 7'	

PRIMARY BEDROOM ROOF ACL

ATTIC VENT CALCULATION	
TOTAL SQ. FT. OF ROOF AREA:	99 SQ. FT.
RIDGE VENT NET FREE AREA:	18 SQ. IN. PER LINEAL FOOT
SOFFIT VENT NET FREE AREA:	9 SQ. IN. PER LINEAL FOOT
((99 SQ FT x 1/150) x 144) / 2 = 48 SQ. IN.	
48 / 9	NFA OF SOFFIT VENT = 5
ACTUAL RIDGE VENT PROVIDED: 0'	
ACTUAL SOFFIT VENT PROVIDED: 17'	

REAR FACLDE PERCENTAGES		
MATERIALS	S.F.	%
SIDING	597	100
SHAKE	0	0
BOARD & BATT	0	0
HARDI BOARD	0	0
STONE VENEER	0	0
BRICK VENEER	0	0
TOTAL=		597 100
MASONRY % =		0



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ATL E1291.0
Elevation Plans
Front Elevation ACA

drawn by: ---
 checked by: ---
 date: ---
 sheet number:
A-3.4



LEFT ELEVATION ACA
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

LEFT FACLDE PERCENTAGES		
MATERIALS	S.F.	%
SIDING	1391	94
SHAKE	0	0
BOARD & BATT	0	0
HARDI BOARD	0	0
STONE VENEER	81	6
BRICK VENEER	0	0
TOTAL=		1472 100
MASONRY % =		6



RIGHT ELEVATION ACA
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

RIGHT FACLDE PERCENTAGES		
MATERIALS	S.F.	%
SIDING	1463	100
SHAKE	0	0
BOARD & BATT	0	0
HARDI BOARD	0	0
STONE VENEER	0	0
BRICK VENEER	0	0
TOTAL=		1463 100
MASONRY % =		0

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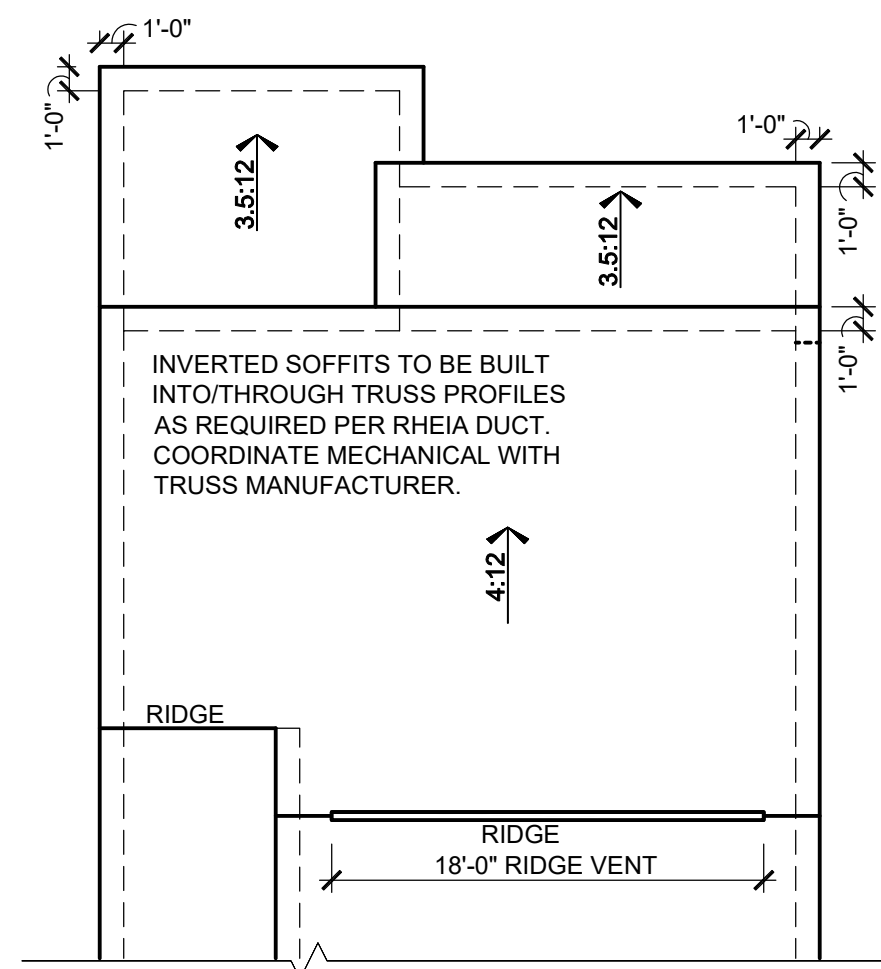
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ATL E1291.0
Elevation Plans
Side Elevations ACA

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 checked by: --
 date: --

sheet number:
A-3.5



**ROOF PLAN
W/ OPT. COVERED PATIO**
SCALE: 1/16"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/8"=1'-0" (24"x36" SHEET SIZE)

COVERED PATIO

ATTIC VENT CALCULATION

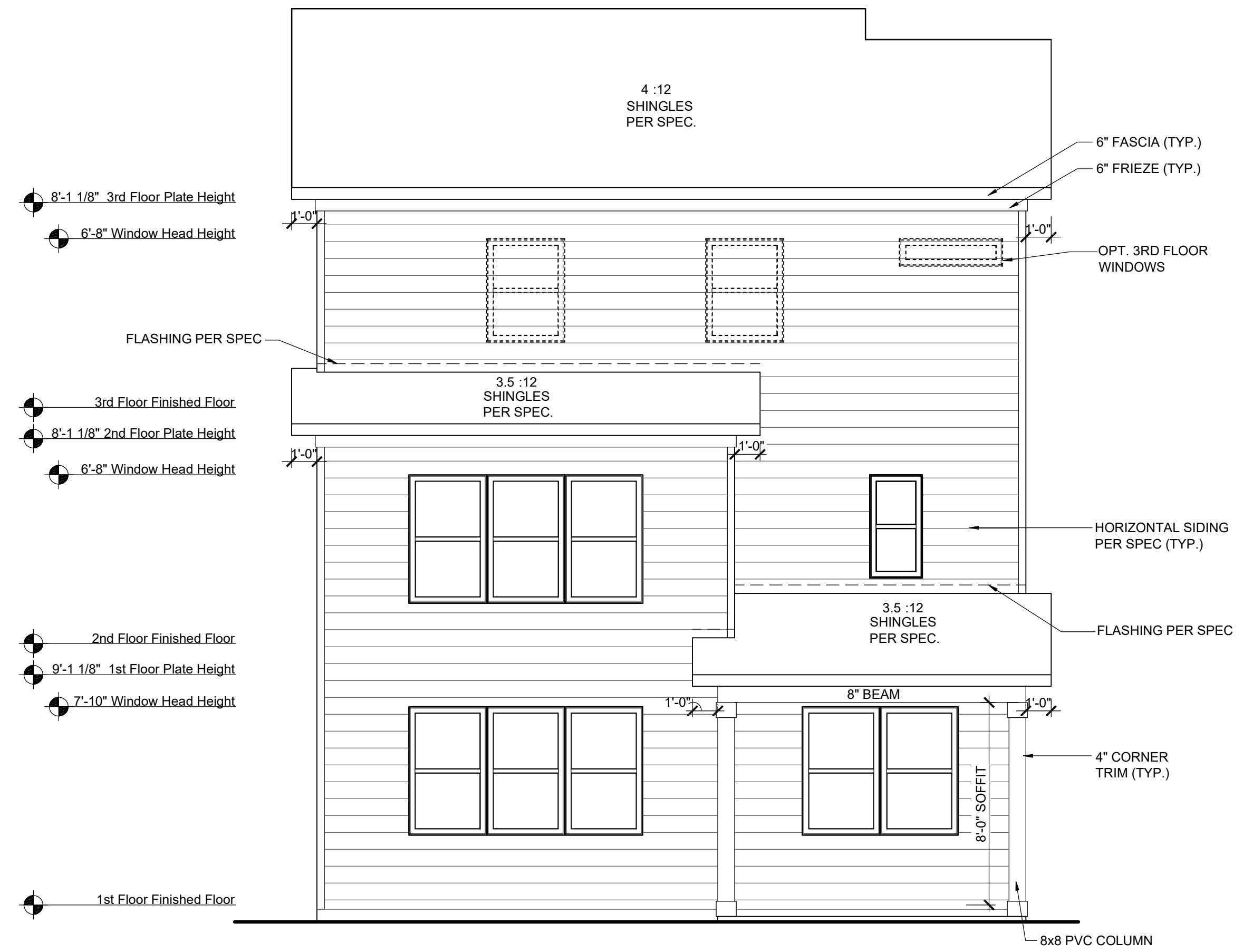
TOTAL SQ. FT. OF ROOF AREA: 115 SQ. FT.
RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT
SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT
$((115 \text{ SQ FT} \times 1/150) \times 144) / 2 = 55 \text{ SQ. IN.}$
55 / 18 NFA OF RIDGE VENT = 3
55 / 9 NFA OF SOFFIT VENT = 6
ACTUAL RIDGE VENT PROVIDED: 0
ACTUAL SOFFIT VENT PROVIDED: 11'

REAR FACLDE PERCENTAGES

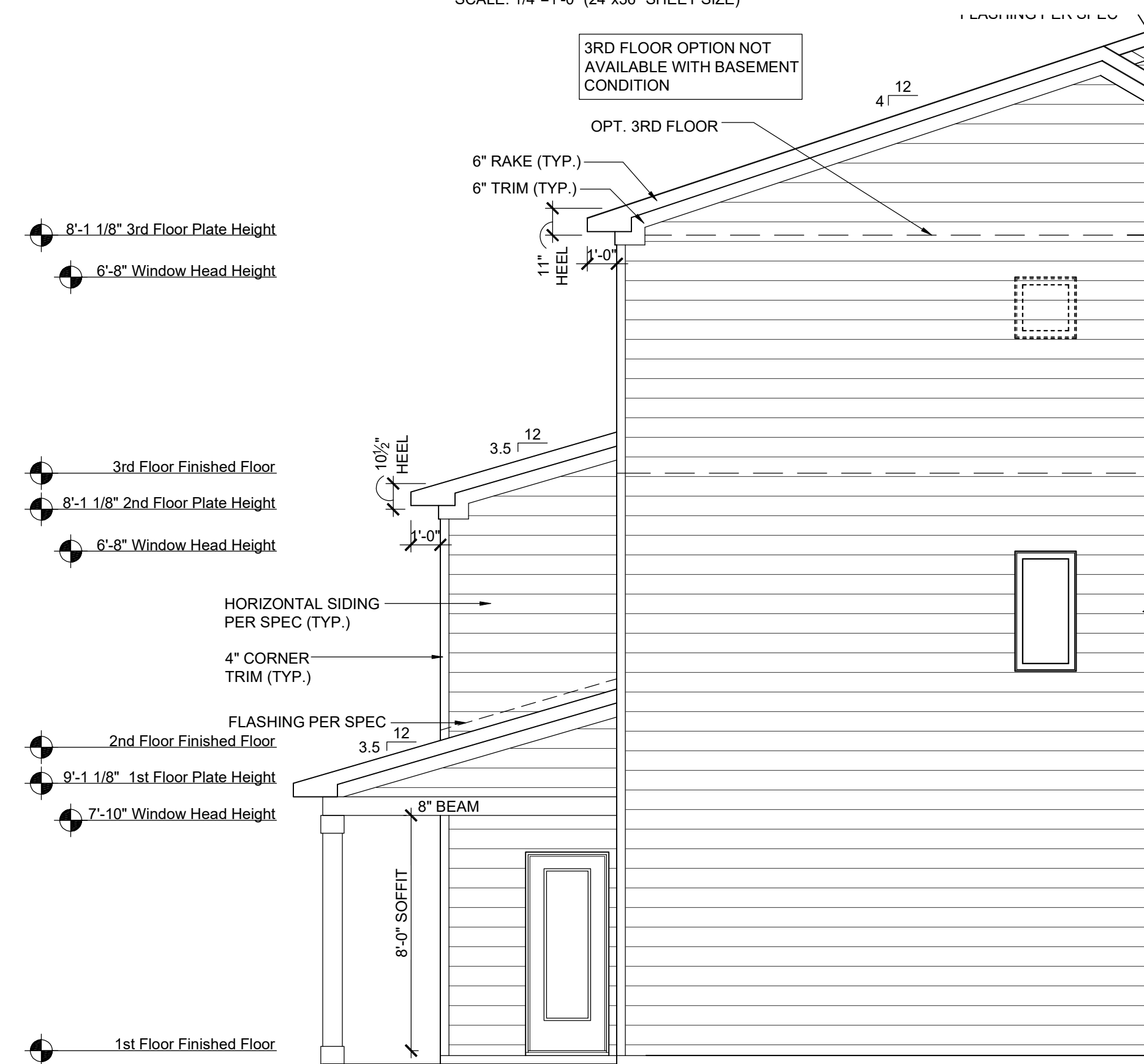
MATERIALS	S.F.	%
SIDING	597	100
SHAKE	0	0
BOARD & BATT	0	0
HARDI BOARD	0	0
STONE VENEER	0	0
BRICK VENEER	0	0
TOTAL=	597	100
MASONRY % =	0	0

LEFT FACLDE PERCENTAGES

MATERIALS	S.F.	%
SIDING	1395	94
SHAKE	0	0
BOARD & BATT	0	0
HARDI BOARD	0	0
STONE VENEER	0	0
BRICK VENEER	88	6
TOTAL=	1483	100
MASONRY % =	6	6



**REAR ELEVATION W/
OPT. COVERED PATIO**
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**LEFT ELEVATION W/
OPT. COVERED PATIO**
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
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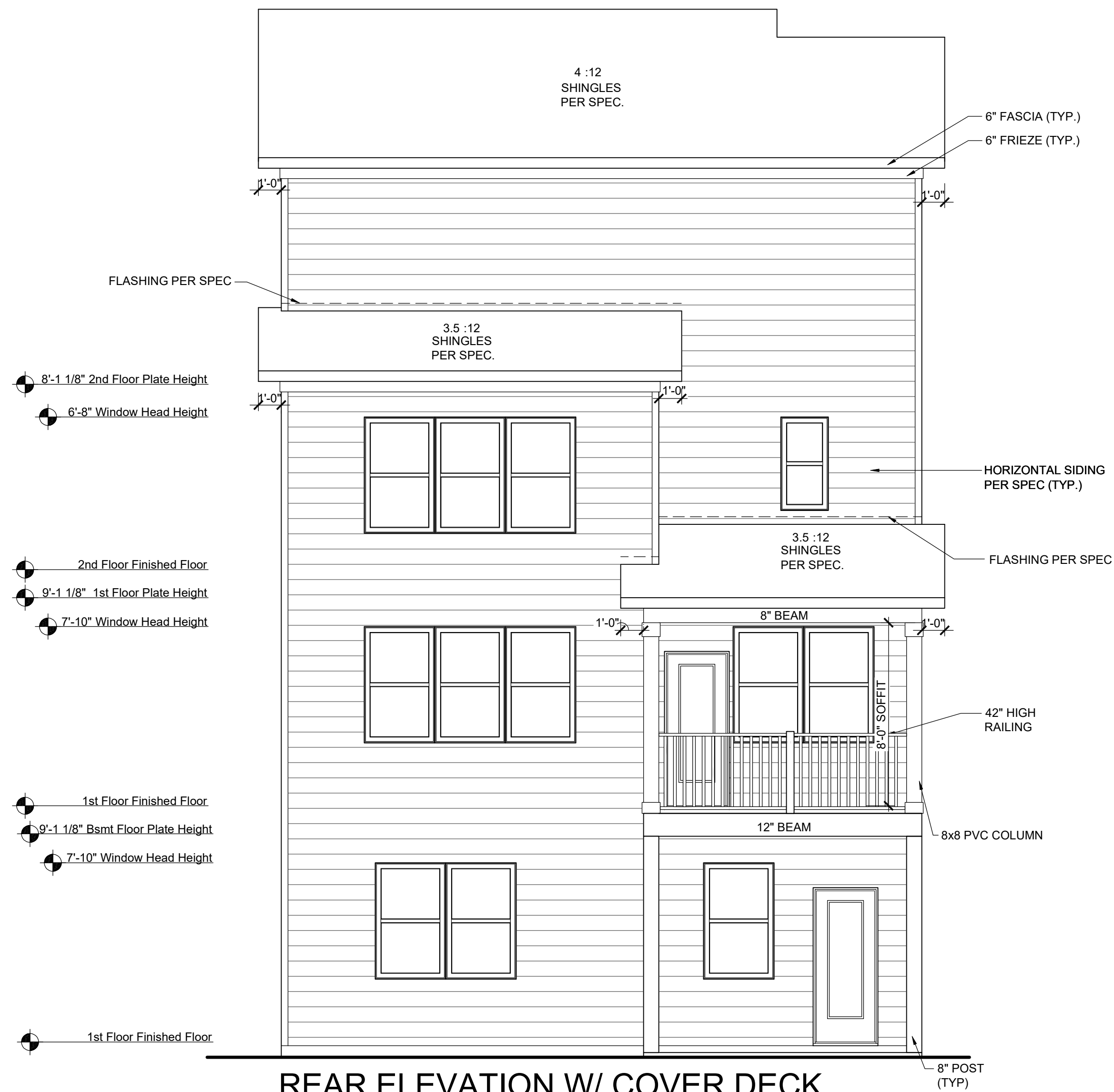
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Elevation Plans
Option Elevations

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checked by: ---
date: ---
sheet number: ---

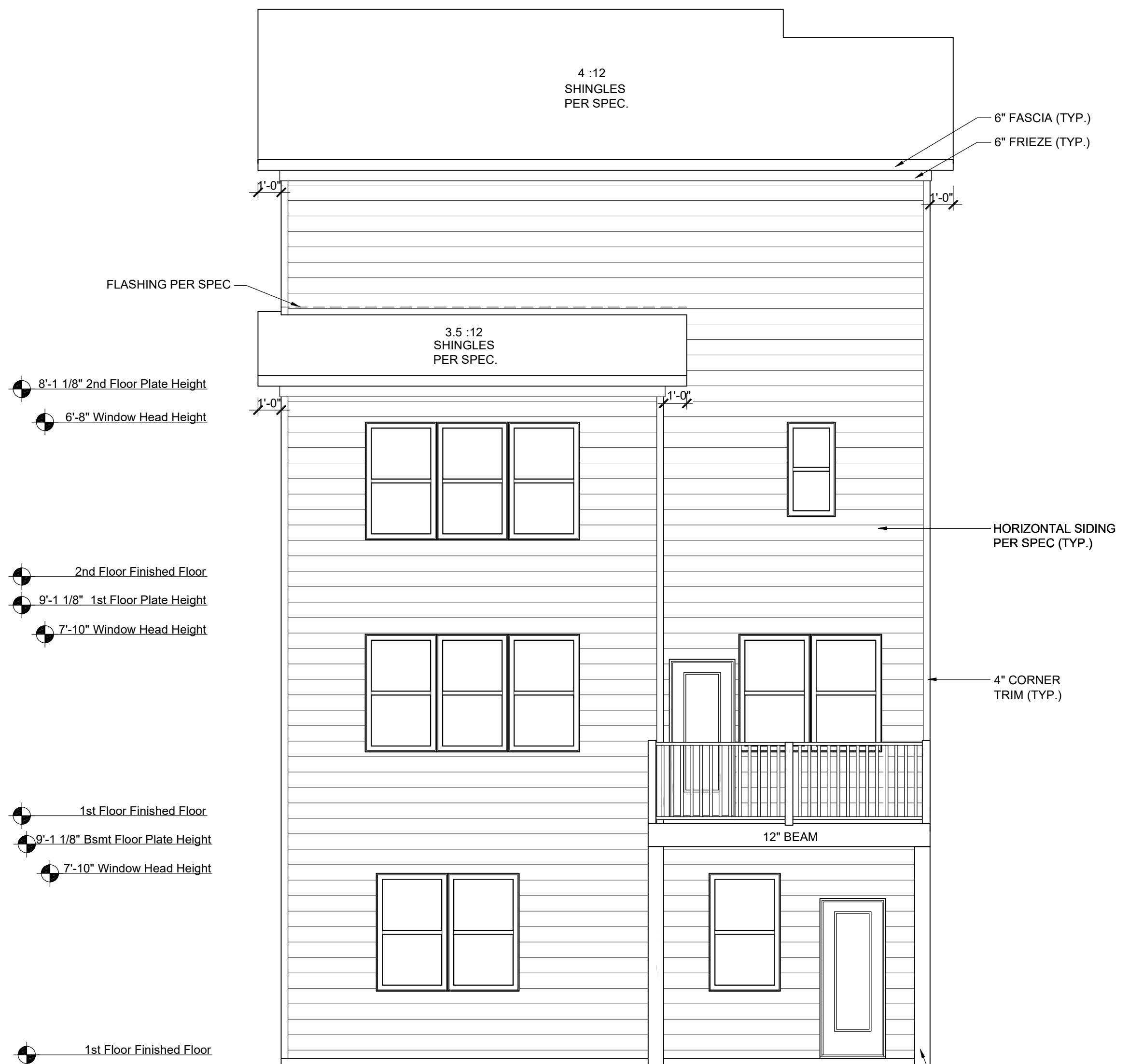
A-3.6



REAR ELEVATION W/ COVER DECK

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

3RD FLOOR OPTION NOT AVAILABLE WITH BASEMENT CONDITION



REAR ELEVATION W/ OPT. BASEMENT

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

3RD FLOOR OPTION NOT AVAILABLE WITH BASEMENT CONDITION

REAR FACLDE PERCENTAGES		
MATERIALS	S.F.	%
SIDING	741	100
SHAKE	0	0
BOARD & BATT	0	0
HARDI BOARD	0	0
STONE VENEER	0	0
BRICK VENEER	0	0
TOTAL= 741 100		
MASONRY % = 0		

REAR FACLDE PERCENTAGES		
MATERIALS	S.F.	%
SIDING	780	100
SHAKE	0	0
BOARD & BATT	0	0
HARDI BOARD	0	0
STONE VENEER	0	0
BRICK VENEER	0	0
TOTAL= 780 100		
MASONRY % = 0		

Plot Date: 28-06-2021 09:18:44; By: Allamash Thakur

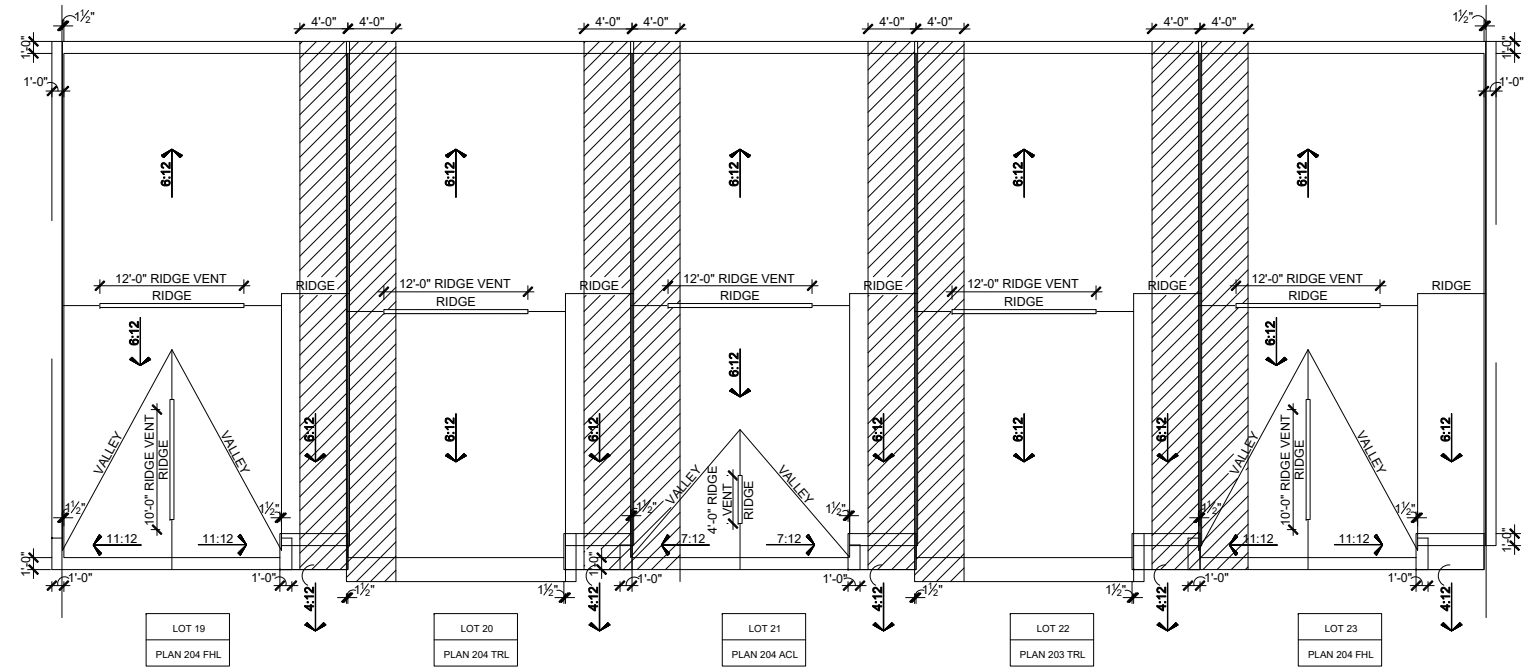
REV.	DATE
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ATL E1291.0
Elevation Plans
Option Elevations

drawn by: ---
checked by: ---
date: ---
sheet number:
A-3.7



FRONT ELEVATION 5-PLEX LOTS 19-23
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

GRADE SHALL SLOPE AWAY FROM THE BUILDING UNITE. (REFER TO SITE PLAN FOR DETAIL)

REFER TO 1/4" ELEVATIONS FOR ALL TYPICAL NOTES AND DIMENSIONS NOT SHOWN HERE.

**AVONDALE PARK -
 REAR LOAD TOWNHOMES**

REV.	DATE

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**Lots 19-23 1.0
 Elevation Plans
 Front Elevations**

drawn by: XSCAD
 checked by: JB
 date: 03-13-20
 sheet number:
A-4.0

Plot Date: 12/28/2021 3:16:30 PM; By: Shaun Slaughter



REAR ELEVATION 5-PLEX LOTS 19-23
 SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)
 SCALE: 1/4"=1'-0" (24x36" SHEET SIZE)

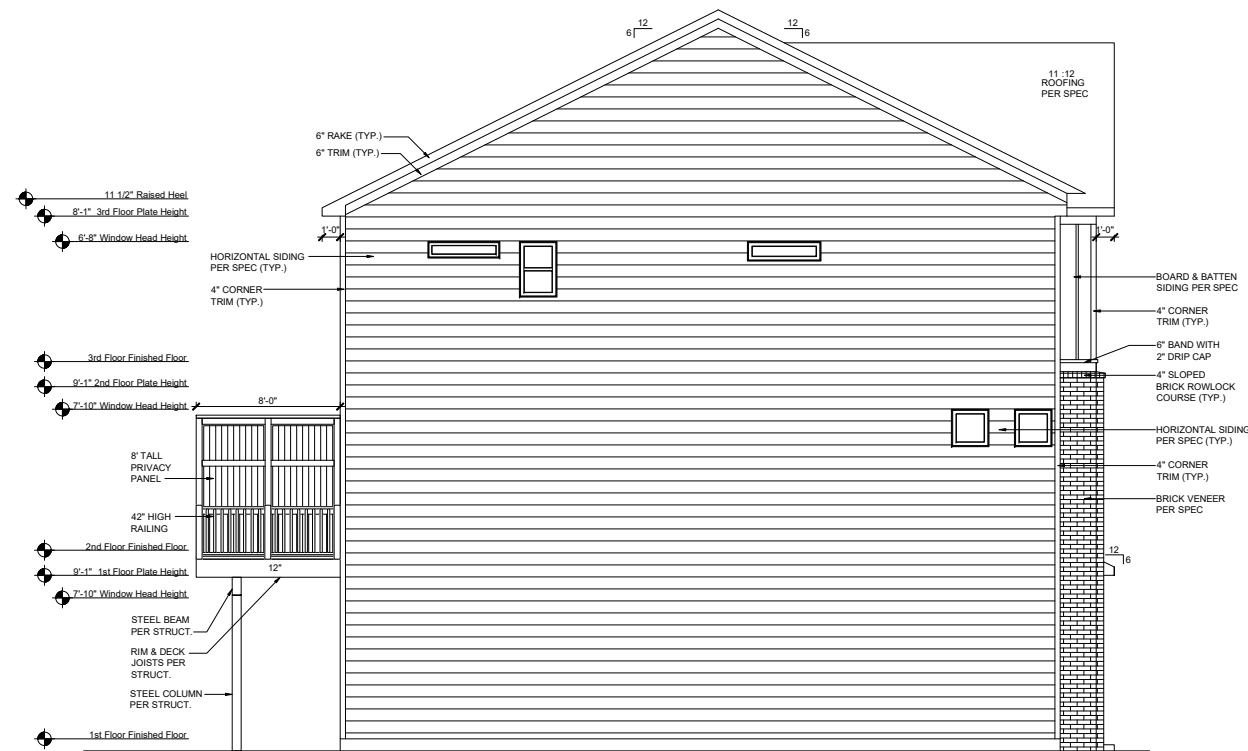
REV.	DATE

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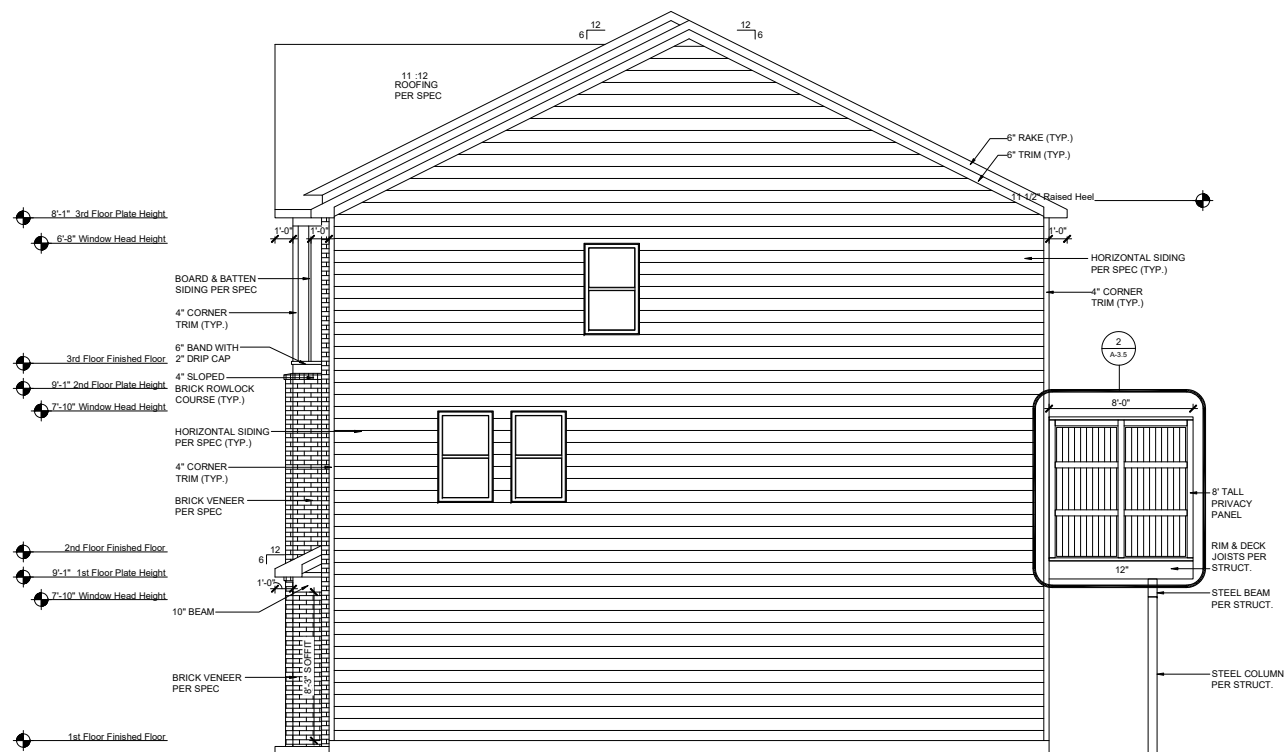
Lots 19-23 1.0
Elevation Plans
Rear Elevations

drawn by: XSCAD
 checked by: JB
 date: 03-13-20
 sheet number:
A-4.1



**LEFT ELEVATION - 5 PLEX
(3-STORY)**
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

LOT 19
PLAN 204 FHL



**RIGHT ELEVATION - 5 PLEX
(3-STORY)**
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

LOT 23
PLAN 204 FHL

REV.	DATE

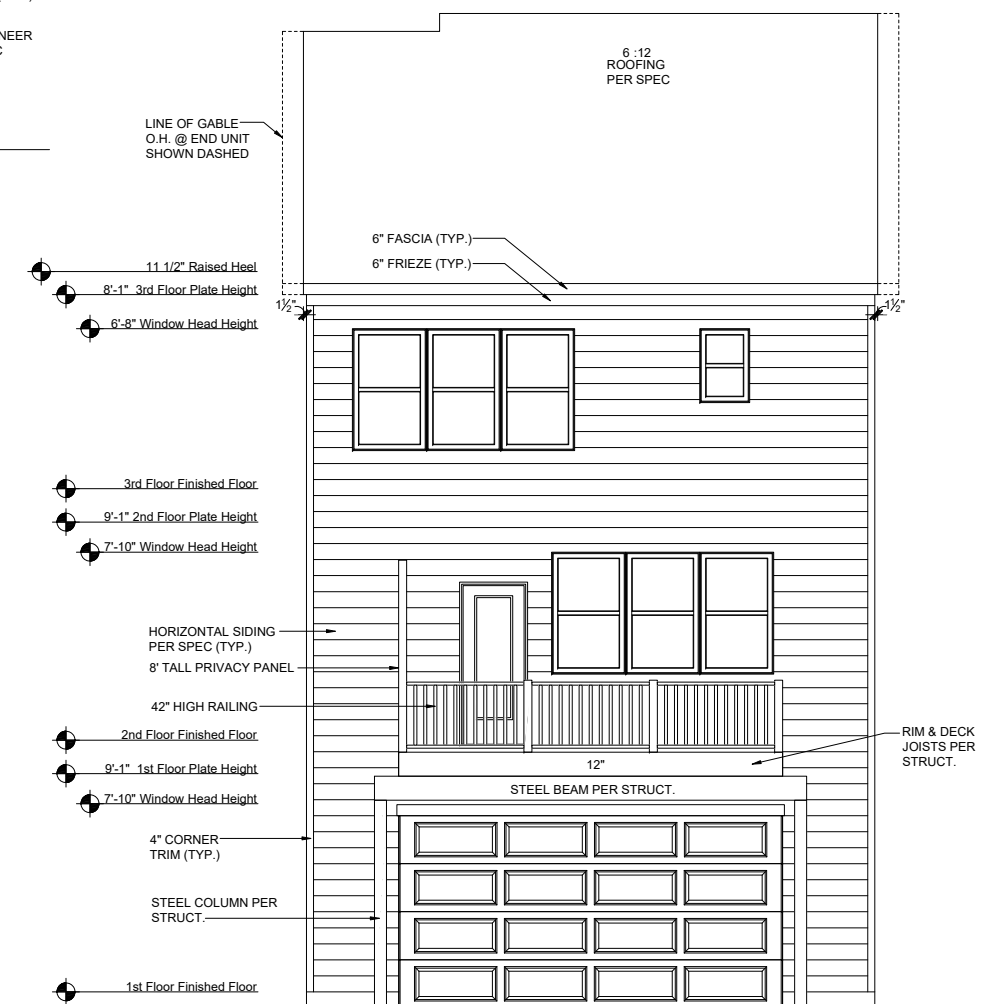
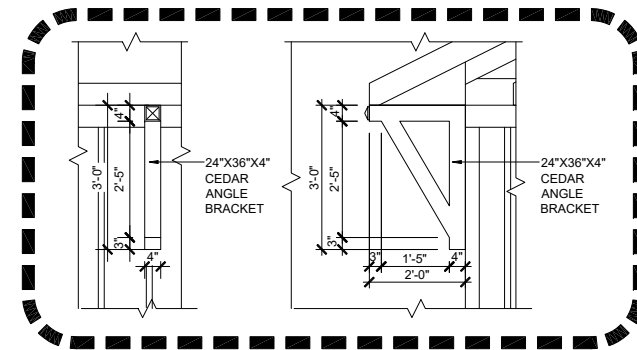
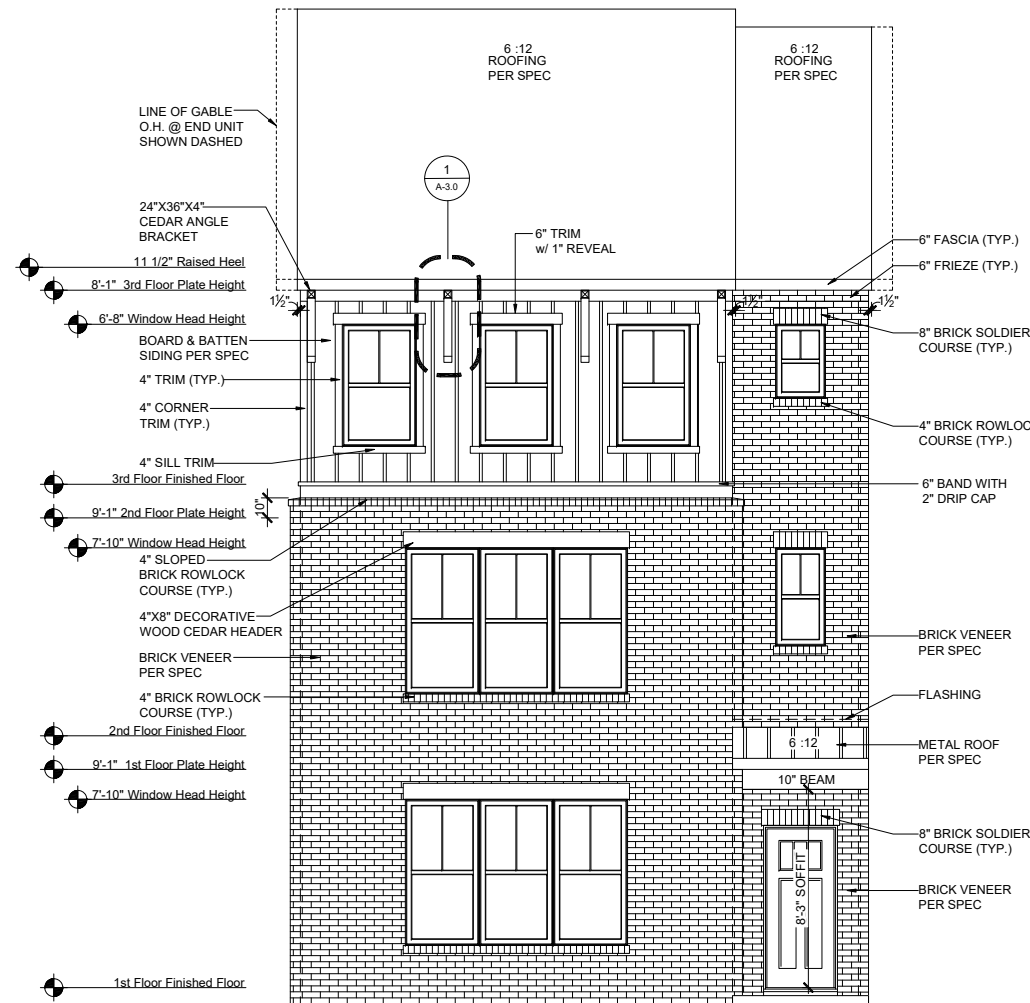
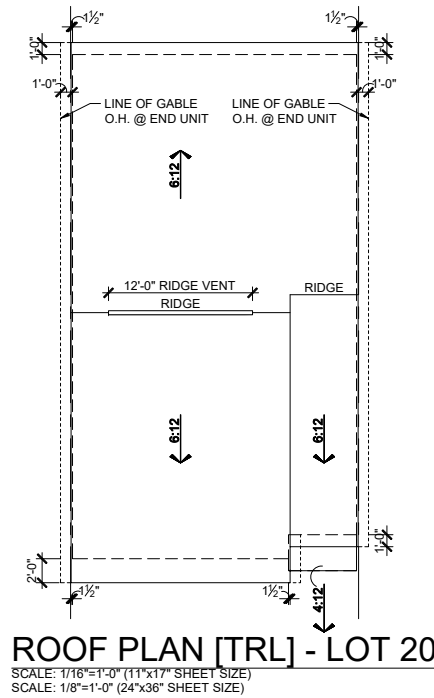
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Lots 19-23 1.0
Elevation Plans
Side Elevations

drawn by: XSCAD
checked by: JB
date: 03-13-20
sheet number:

A-4.2



MAIN ROOF [TRL]

ATTIC VENT CALCULATION

TOTAL SQ. FT. OF ROOF AREA: 983 SQ. FT.
 RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT
 SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT

$(983 \text{ SQ FT} \times 1/300) \times 144) / 2 = 236 \text{ SQ. IN.}$

236 / 18 NFA OF RIDGE VENT = 13' REQUIRED
 236 / 9 NFA OF SOFFIT VENT = 26' REQUIRED

ACTUAL RIDGE VENT PROVIDED: 12'
 ACTUAL SOFFIT VENT PROVIDED: 48'

PORCH ROOF [TRL]

ATTIC VENT CALCULATION

TOTAL SQ. FT. OF ROOF AREA: 17 SQ. FT.
 RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT
 SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT

$((17 \text{ SQ FT} \times 1/150) \times 144) / 2 = 8 \text{ SQ. IN.}$

8 / 18 NFA OF RIDGE VENT = 0.4
 8 / 9 NFA OF SOFFIT VENT = 0.8

ACTUAL RIDGE VENT PROVIDED: 0'
 ACTUAL SOFFIT VENT PROVIDED: 6'

FRONT FACADE PERCENTAGES

MATERIALS	S.F.	%
SIDING	0	0
SHAKE	0	0
BOARD & BATT	97	20
HARDI BOARD	0	0
STONE VENEER	0	0
BRICK VENEER	396	80
TOTAL=	493	100
MASONRY % =	80	

REAR FACADE PERCENTAGES

MATERIALS	S.F.	%
SIDING	450	100
SHAKE	0	0
BOARD & BATT	0	0
HARDI BOARD	0	0
STONE VENEER	0	0
BRICK VENEER	0	0
TOTAL=	450	100
MASONRY % =	0	

REV.	DATE
V1.0	08-12-21

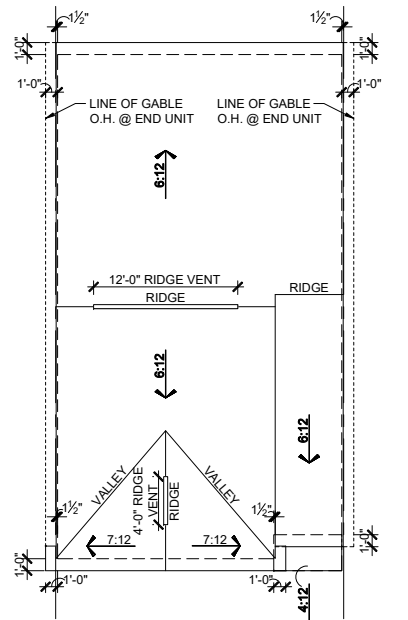
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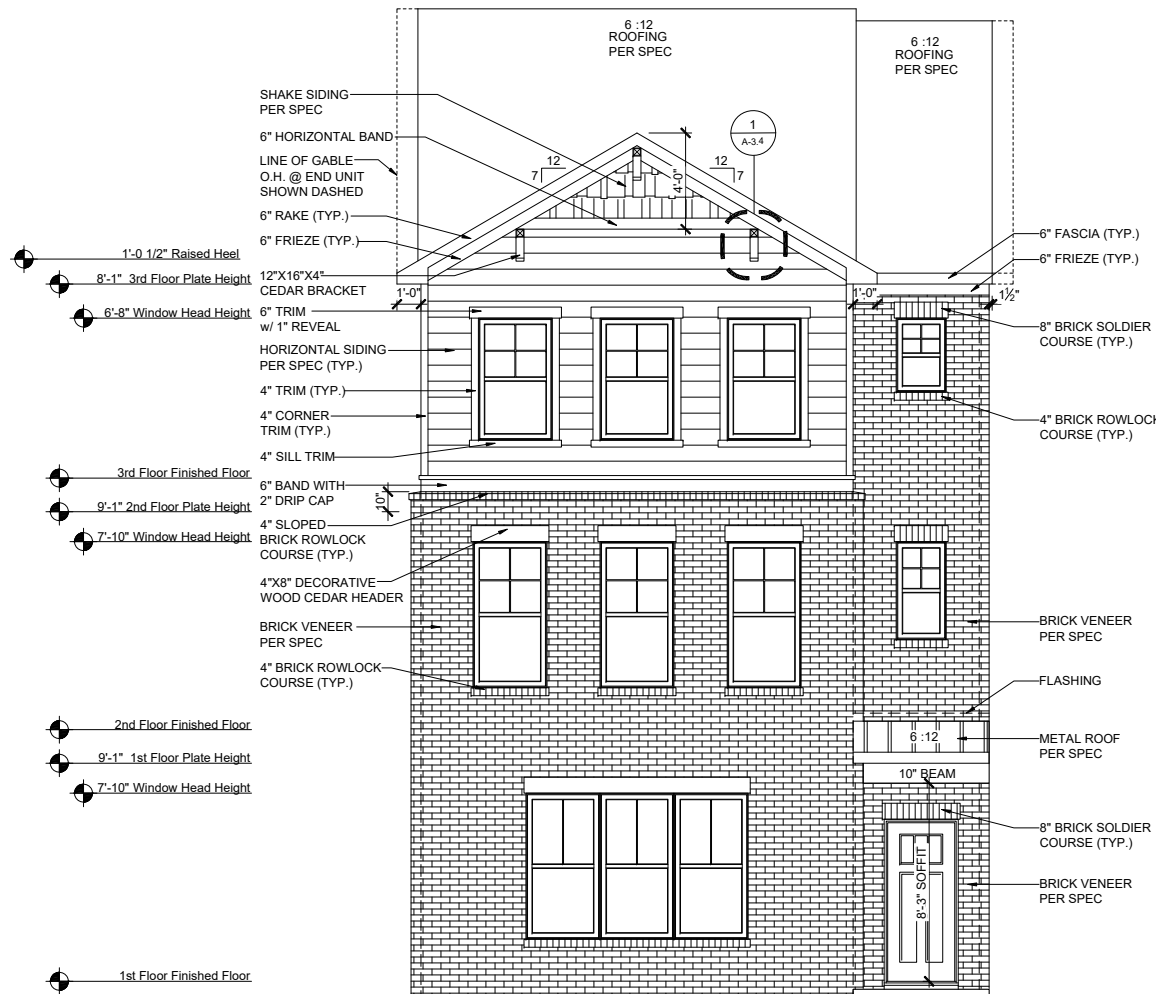
ATL T2041.0
Elevation Plans
Front & Rear Elevation [TRL]

drawn by: --
 checked by: --
 date: --

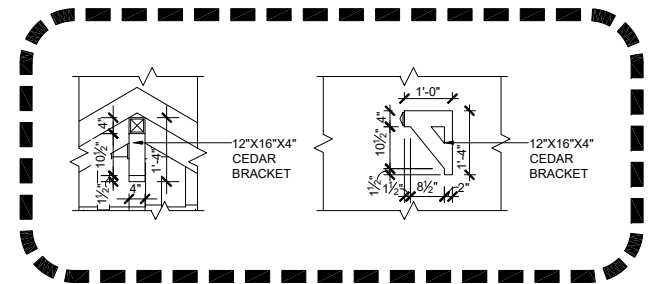
sheet number:
A-4.0



ROOF PLAN [ACL] - 21
 SCALE: 1/16"=1'-0" (11"x17" SHEET SIZE)
 SCALE: 1/8"=1'-0" (24"x36" SHEET SIZE)



FRONT ELEVATION [ACL] - 21
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



1 BRACKET DETAIL
 SCALE: 1/4"=1'-0" (11"x17" SHEET SIZE)
 SCALE: 1/2"=1'-0" (24"x36" SHEET SIZE)

MAIN ROOF [ACL]

ATTIC VENT CALCULATION

TOTAL SQ. FT. OF ROOF AREA: 983 SQ. FT.
 RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT
 SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT

((983 SQ FT x 1/300) x 144) / 2 = 236 SQ. IN.

236 / 18 NFA OF RIDGE VENT = 13' REQUIRED
 236 / 9 NFA OF SOFFIT VENT = 26' REQUIRED

ACTUAL RIDGE VENT PROVIDED: 20'
 ACTUAL SOFFIT VENT PROVIDED: 34'

PORCH ROOF [ACL]

ATTIC VENT CALCULATION

TOTAL SQ. FT. OF ROOF AREA: 17 SQ. FT.
 RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT
 SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT

((17 SQ FT x 1/150) x 144) / 2 = 8 SQ. IN.

8 / 18 NFA OF RIDGE VENT = 0.4
 8 / 9 NFA OF SOFFIT VENT = 0.8

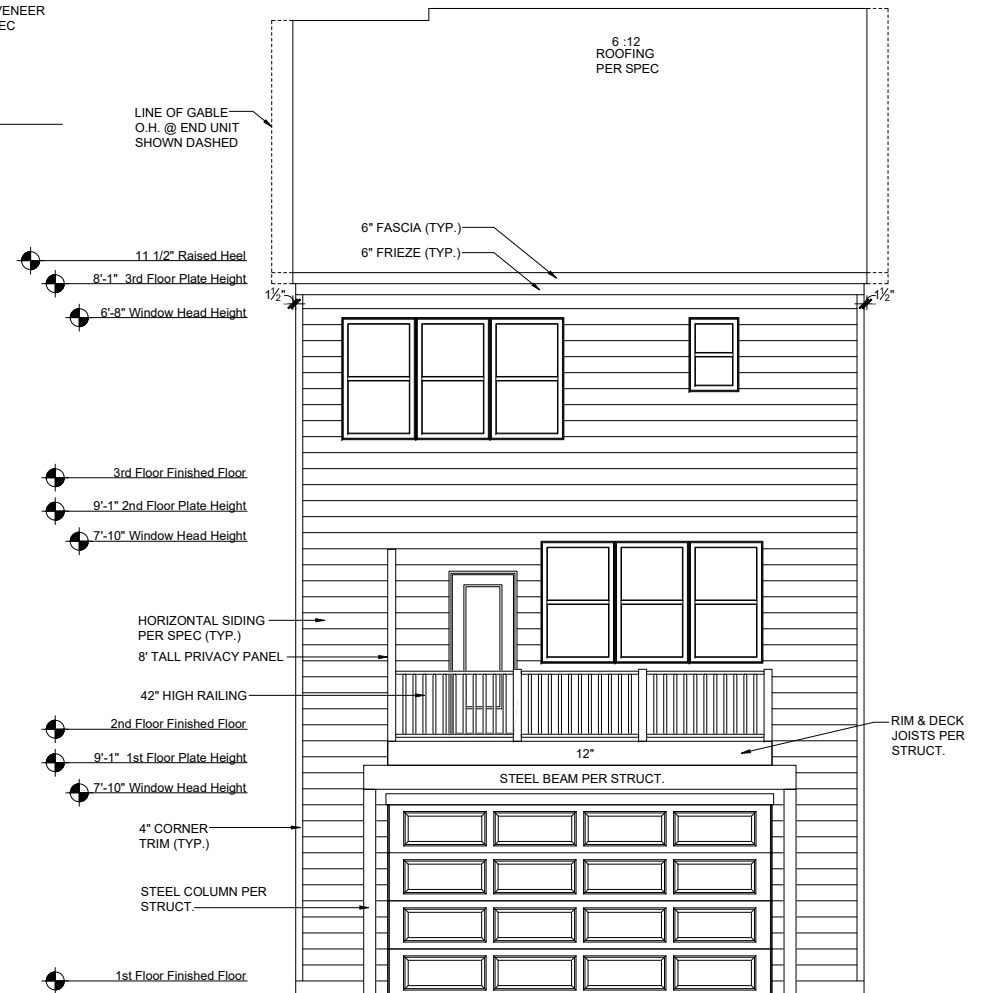
ACTUAL RIDGE VENT PROVIDED: 0'
 ACTUAL SOFFIT VENT PROVIDED: 6'

FRONT FACADE PERCENTAGES

MATERIALS	S.F.	%
SIDING	137	25
SHAKE	16	3
BOARD & BATT	0	0
HARDI BOARD	0	0
STONE VENEER	0	0
BRICK VENEER	396	72
TOTAL	549	100
MASONRY %	= 72	

REAR FACADE PERCENTAGES

MATERIALS	S.F.	%
SIDING	450	100
SHAKE	0	0
BOARD & BATT	0	0
HARDI BOARD	0	0
STONE VENEER	0	0
BRICK VENEER	0	0
TOTAL	450	100
MASONRY %	= 0	



REAR ELEVATION [ACL] - 21
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

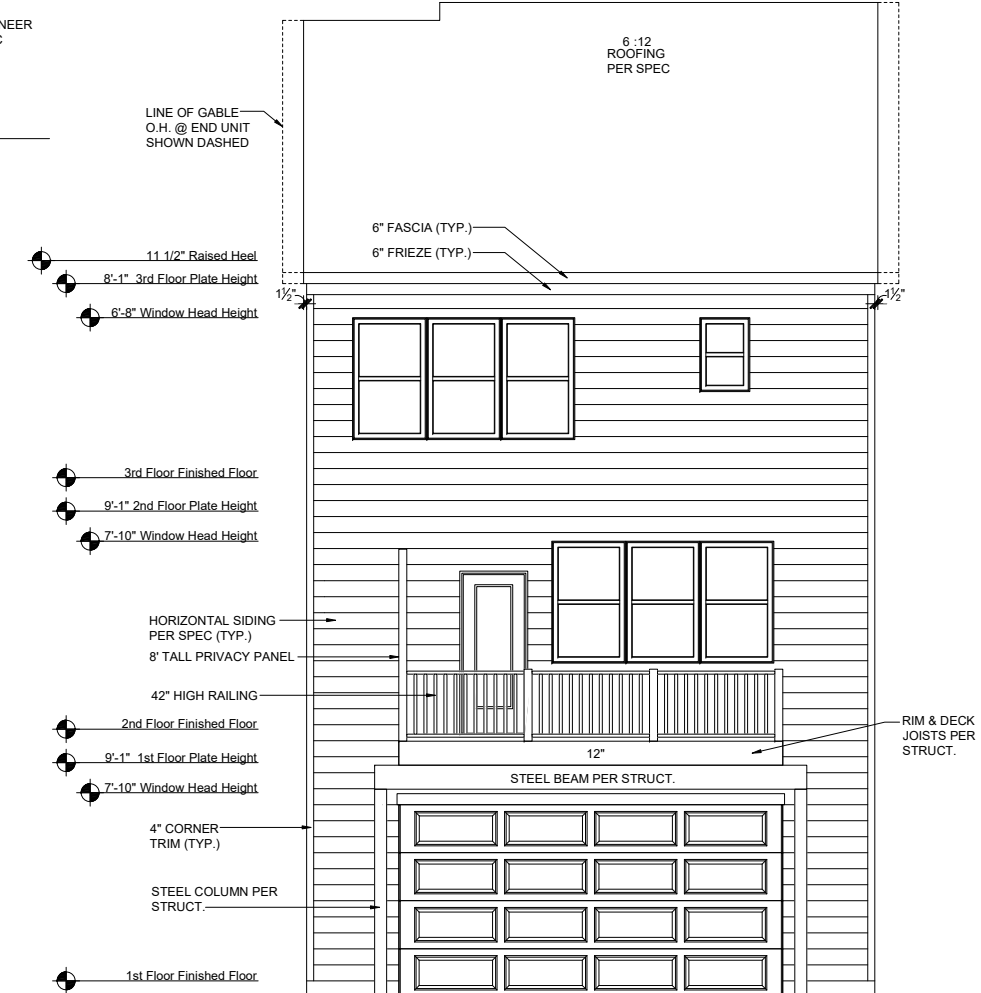
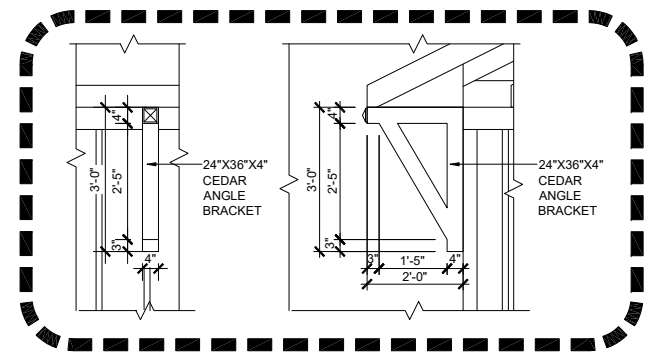
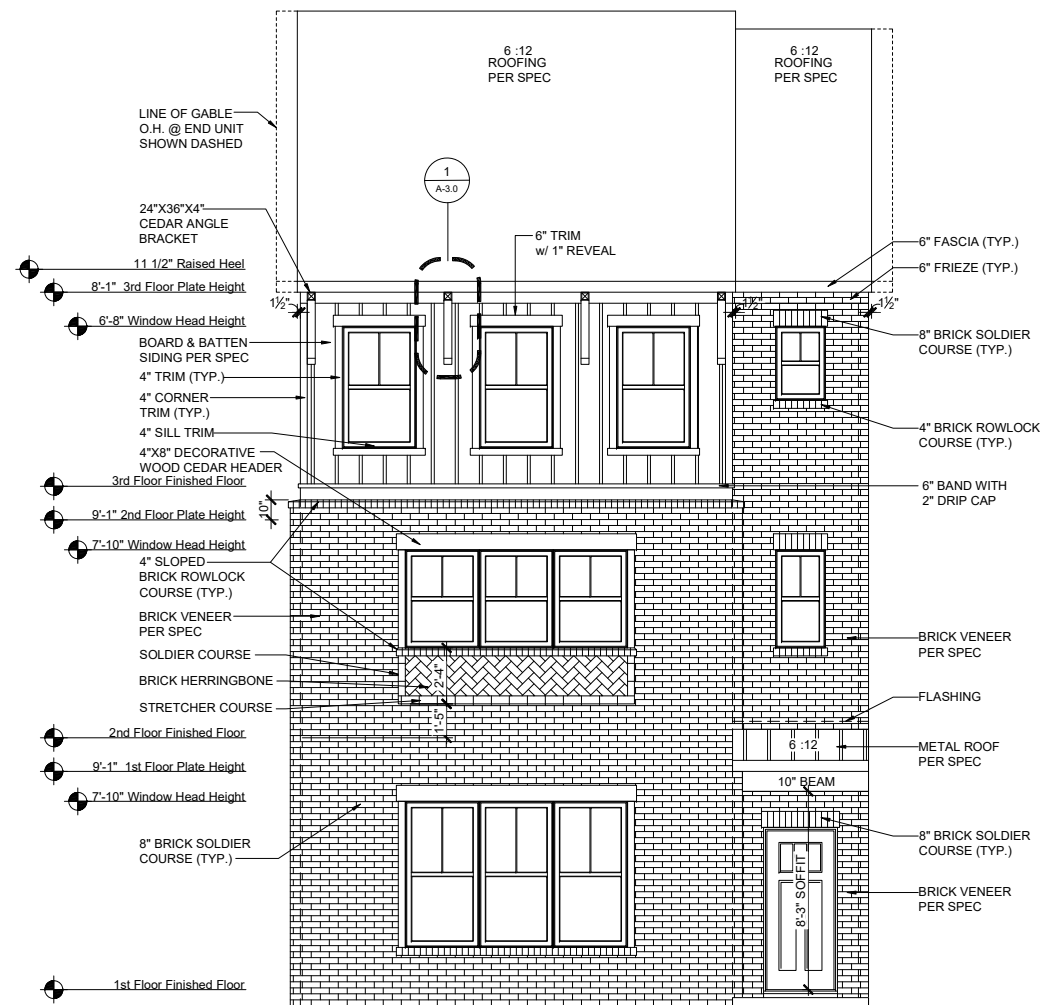
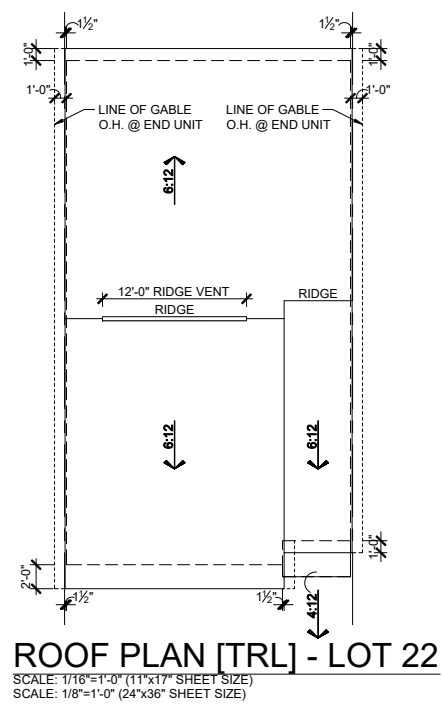
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Elevation Plans
Front & Rear Elevation [ACL]

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 sheet number:
A-4.4



MAIN ROOF [TRL]

ATTIC VENT CALCULATION

TOTAL SQ. FT. OF ROOF AREA: 983 SQ. FT.
 RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT
 SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT

$((983 \text{ SQ FT} \times 1/300) \times 144) / 2 = 236 \text{ SQ. IN.}$

236 / 18 NFA OF RIDGE VENT = 13' REQUIRED
 236 / 9 NFA OF SOFFIT VENT = 26' REQUIRED

ACTUAL RIDGE VENT PROVIDED: 12'
 ACTUAL SOFFIT VENT PROVIDED: 48'

PORCH ROOF [TRL]

ATTIC VENT CALCULATION

TOTAL SQ. FT. OF ROOF AREA: 17 SQ. FT.
 RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT
 SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT

$((17 \text{ SQ FT} \times 1/150) \times 144) / 2 = 8 \text{ SQ. IN.}$

8 / 18 NFA OF RIDGE VENT = 0.4
 8 / 9 NFA OF SOFFIT VENT = 0.8

ACTUAL RIDGE VENT PROVIDED: 0'
 ACTUAL SOFFIT VENT PROVIDED: 6'

FRONT FACADE PERCENTAGES

MATERIALS	S.F.	%
SIDING	0	0
SHAKE	0	0
BOARD & BATT	97	20
HARDI BOARD	0	0
STONE VENEER	0	0
BRICK VENEER	395	80
TOTAL	492	100
MASONRY %	= 80	

REAR FACADE PERCENTAGES

MATERIALS	S.F.	%
SIDING	450	100
SHAKE	0	0
BOARD & BATT	0	0
HARDI BOARD	0	0
STONE VENEER	0	0
BRICK VENEER	0	0
TOTAL	450	100
MASONRY %	= 0	

REV.	DATE
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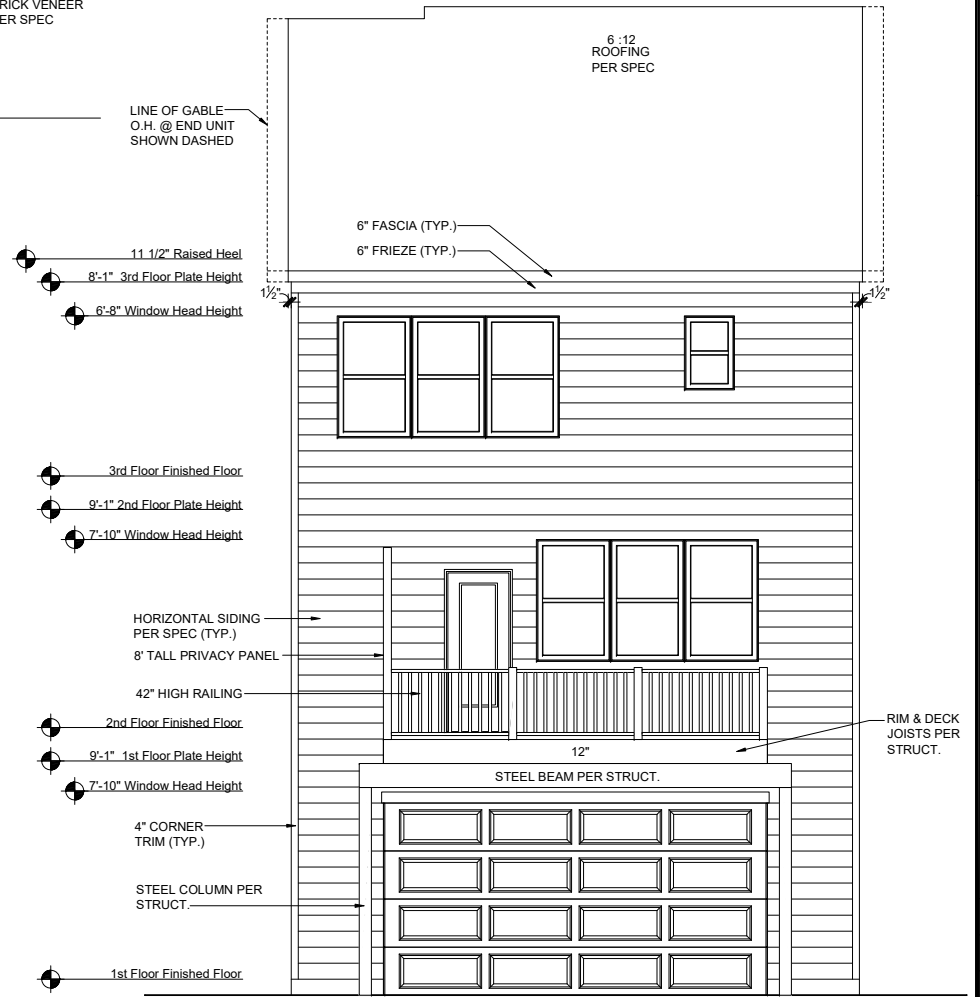
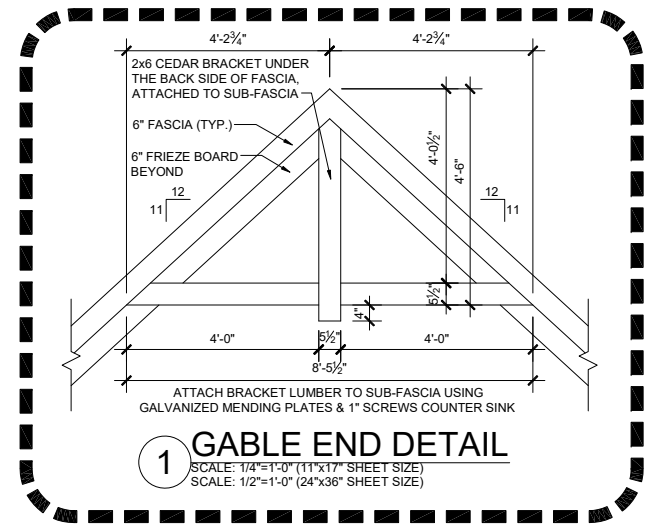
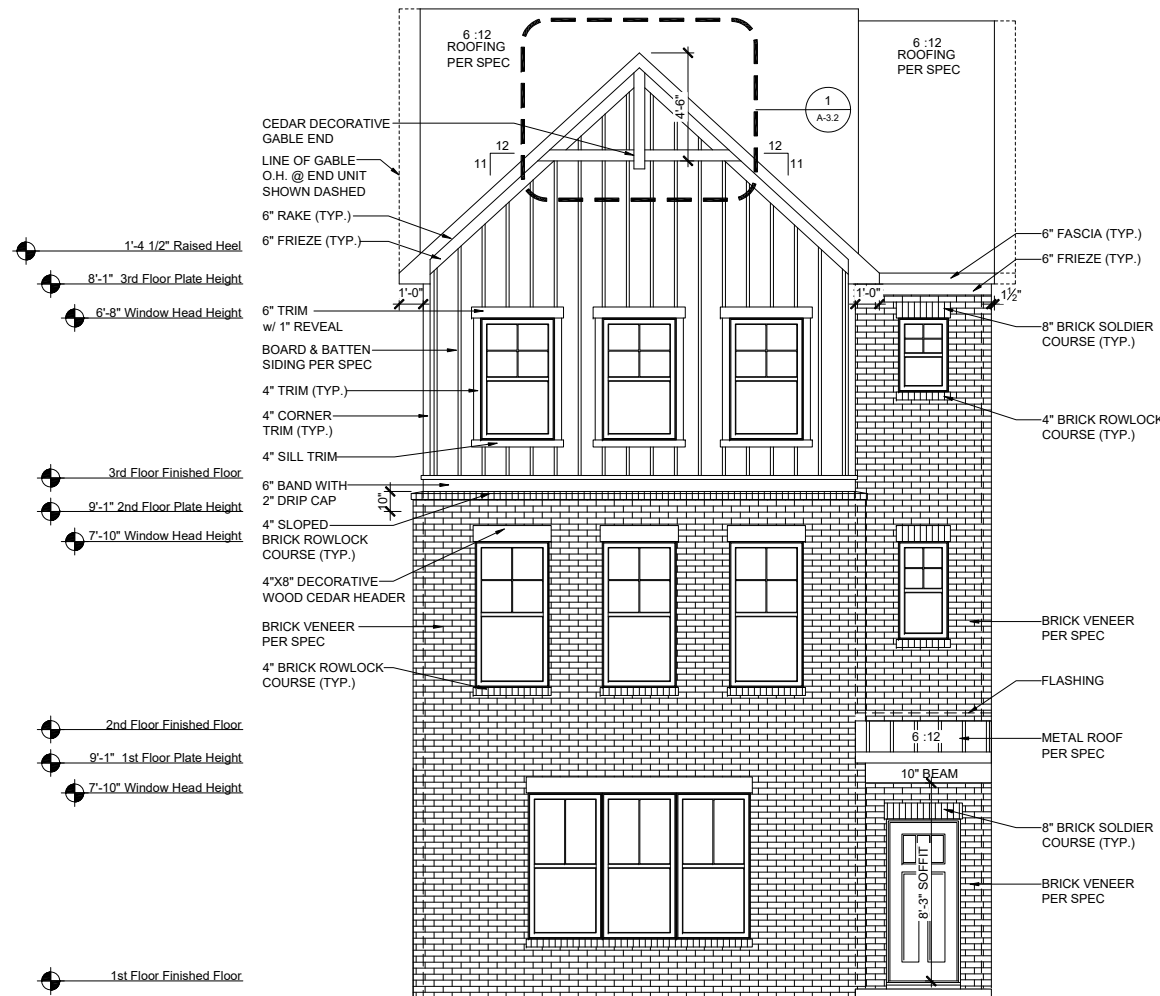
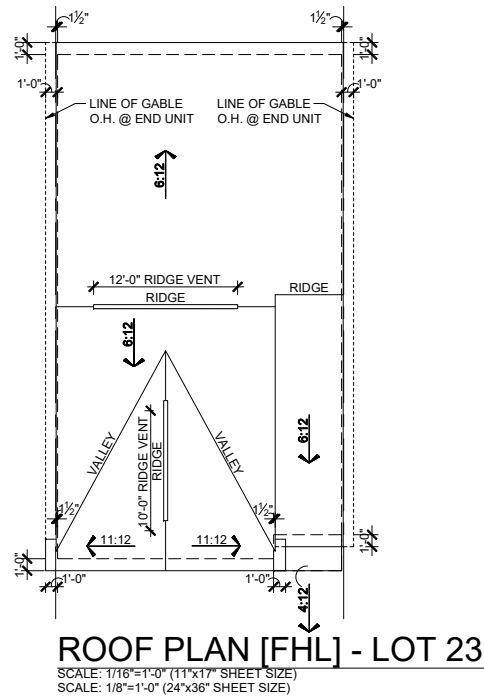
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ATL T2031.0
Elevation Plans
Front & Rear Elevation [TRL]

drawn by: --
 checked by: --
 date: --

sheet number:
A-4.0



MAIN ROOF [FHL]

ATTIC VENT CALCULATION

TOTAL SQ. FT. OF ROOF AREA: 983 SQ. FT.
 RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT
 SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT

$(983 \text{ SQ FT} \times 1/300) \times 144) / 2 = 236 \text{ SQ. IN.}$

236 / 18 NFA OF RIDGE VENT = 13' REQUIRED
 236 / 9 NFA OF SOFFIT VENT = 26' REQUIRED

ACTUAL RIDGE VENT PROVIDED: 22'
 ACTUAL SOFFIT VENT PROVIDED: 52'

PORCH ROOF [FHL]

ATTIC VENT CALCULATION

TOTAL SQ. FT. OF ROOF AREA: 17 SQ. FT.
 RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT
 SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT

$(17 \text{ SQ FT} \times 1/150) \times 144) / 2 = 8 \text{ SQ. IN.}$

8 / 18 NFA OF RIDGE VENT = 0.4
 8 / 9 NFA OF SOFFIT VENT = 0.8

ACTUAL RIDGE VENT PROVIDED: 0'
 ACTUAL SOFFIT VENT PROVIDED: 6'

FRONT FACADE PERCENTAGES

MATERIALS	S.F.	%
SIDING	0	0
SHAKE	0	0
BOARD & BATT	184	32
HARDI BOARD	0	0
STONE VENEER	0	0
BRICK VENEER	396	68
TOTAL	580	100
MASONRY %	= 68	

REAR FACADE PERCENTAGES

MATERIALS	S.F.	%
SIDING	450	100
SHAKE	0	0
BOARD & BATT	0	0
HARDI BOARD	0	0
STONE VENEER	0	0
BRICK VENEER	0	0
TOTAL	450	100
MASONRY %	= 0	

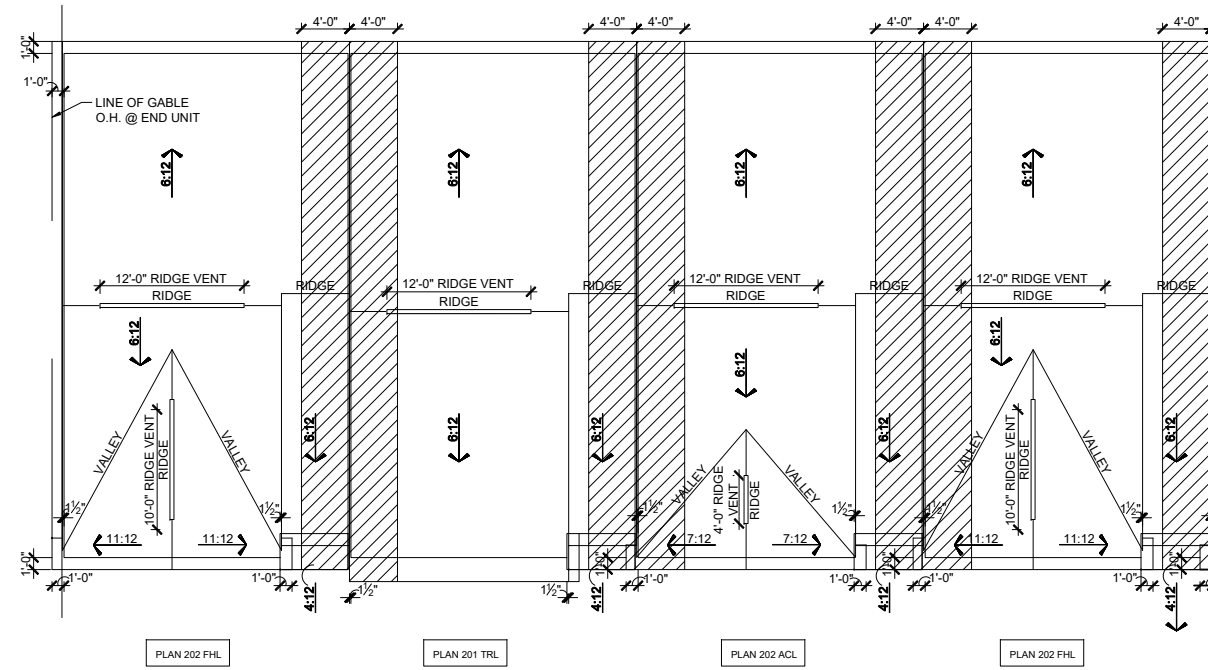
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ATL T2041.0
Elevation Plans
Front & Rear Elevation [FHL]

drawn by: --
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 date: --
 sheet number:
A-4.2



- 1'-4 1/2" Raised Heel
- 8'-1" 3rd Floor Plate Height
- 6'-8" Window Head Height
- 6" TRIM w/ 1" REVEAL
- BOARD & BATTEN SIDING PER SPEC
- 4" TRIM (TYP.)
- 4" CORNER TRIM (TYP.)
- 4" SILL TRIM
- 3rd Floor Finished Floor
- 6" BAND WITH 2" DRIP CAP
- 9'-1" 2nd Floor Plate Height
- 7'-10" Window Head Height
- 4" SLOPED BRICK ROWLOCK COURSE (TYP.)
- 4"X8" DECORATIVE WOOD CEDAR HEADER PER SPEC
- BRICK VENEER PER SPEC
- 4" BRICK ROWLOCK COURSE (TYP.)
- 2nd Floor Finished Floor
- 9'-1" 1st Floor Plate Height
- 7'-10" Window Head Height
- 8" BRICK SOLDIER COURSE (TYP.)
- 1st Floor Finished Floor

FRONT ELEVATION 7-PLEX
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

GRADE SHALL SLOPE AWAY FROM THE BUILDING UNIT. (REFER TO SITE PLAN FOR DETAIL)

REFER TO 1/4" ELEVATIONS FOR ALL TYPICAL NOTES AND DIMENSIONS NOT SHOWN HERE.

MATCH LINE - SHEET A-4.0.1

AVONDALE PARK - FRONT LOAD TOWNHOMES

REV.	DATE

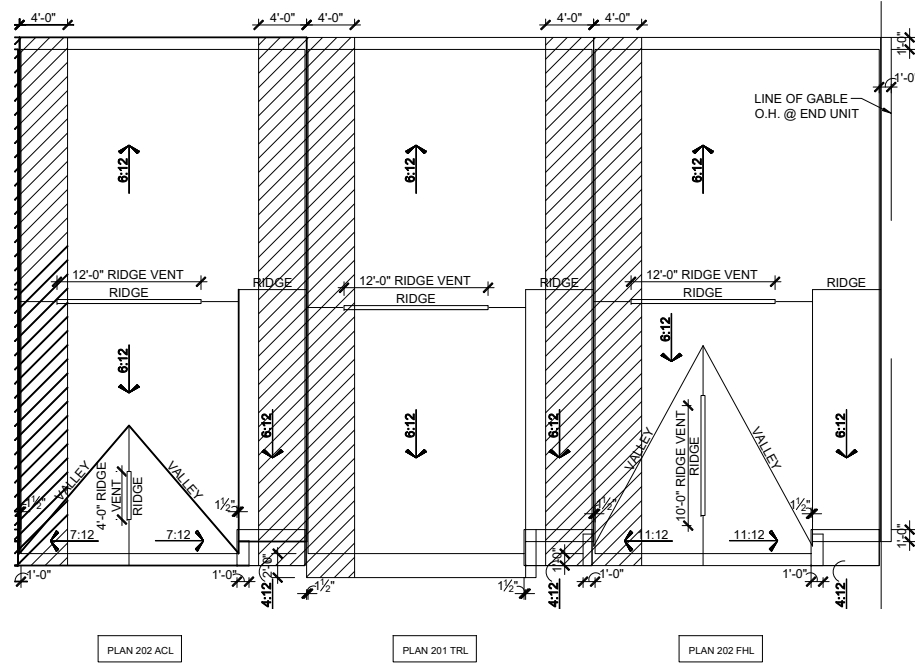
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1.0
Elevation Plans
Front Elevations

drawn by: XSCAD
 checked by: JB
 date: 03-13-20
 sheet number:
A-4.0

MATCH LINE - SHEET A-4.0 -



FRONT ELEVATION 7-PLEX

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

GRADE SHALL SLOPE AWAY FROM THE BUILDING UNIT. (REFER TO SITE PLAN FOR DETAIL)

REFER TO 1/4" ELEVATIONS FOR ALL TYPICAL NOTES AND DIMENSIONS NOT SHOWN HERE.

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1.0
Elevation Plans
Front Elevations

drawn by: XSCAD
checked by: JB
date: 03-13-20
sheet number:

A-4.0.1



PLAN 202 FHL
REAR ELEVATION 7-PLEX
SCALE: 1/8"=1'-0" (11x17" SHEET SIZE)
 SCALE: 1/4"=1'-0" (24x36" SHEET SIZE)

PLAN 201 TRL

PLAN 202 ACL

MATCH LINE - SHEET A-4.1.1

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1.0
Elevation Plans
Rear Elevations

drawn by: XSCAD
 checked by: JB
 date: 03-13-20
 sheet number:
A-4.1

MATCH LINE - SHEET A-4.1 -



PLAN 202 FHL

PLAN 202 ACL

PLAN 201 TRL

PLAN 202 FHL

REAR ELEVATION 7-PLEX
1/8"=1'-0" (11"x17" SHEET SIZE)
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

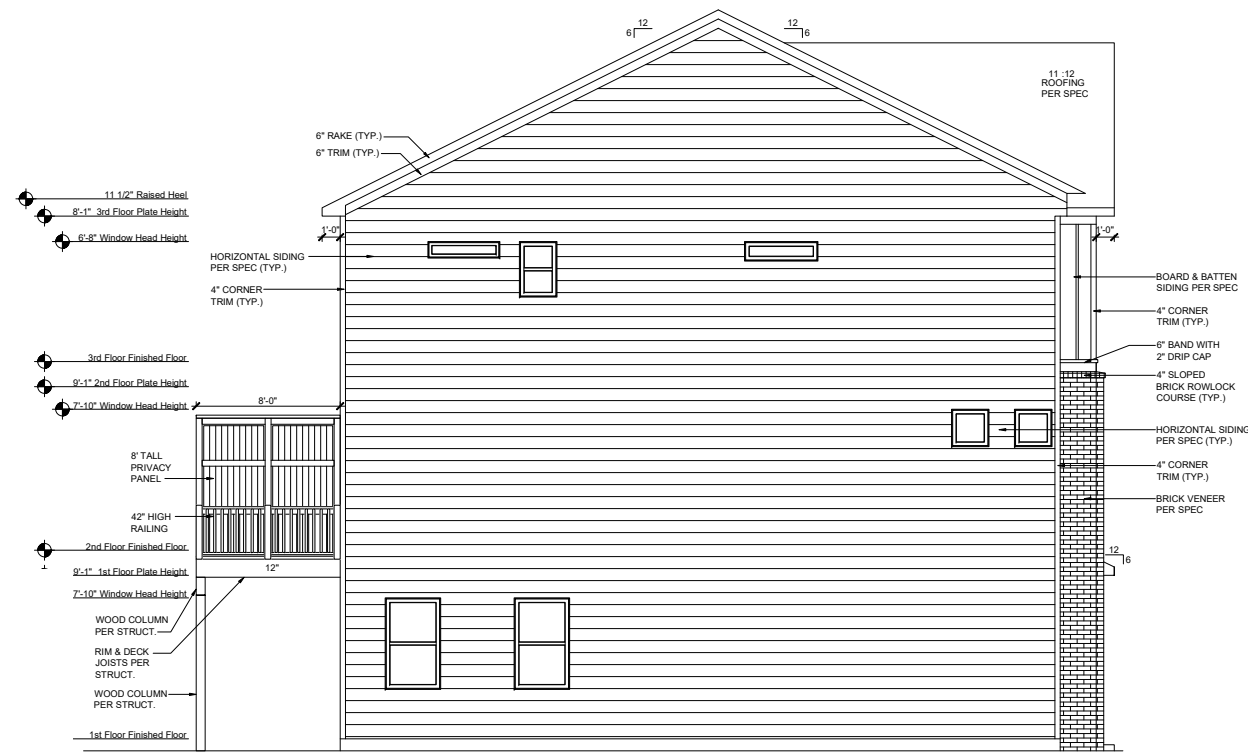
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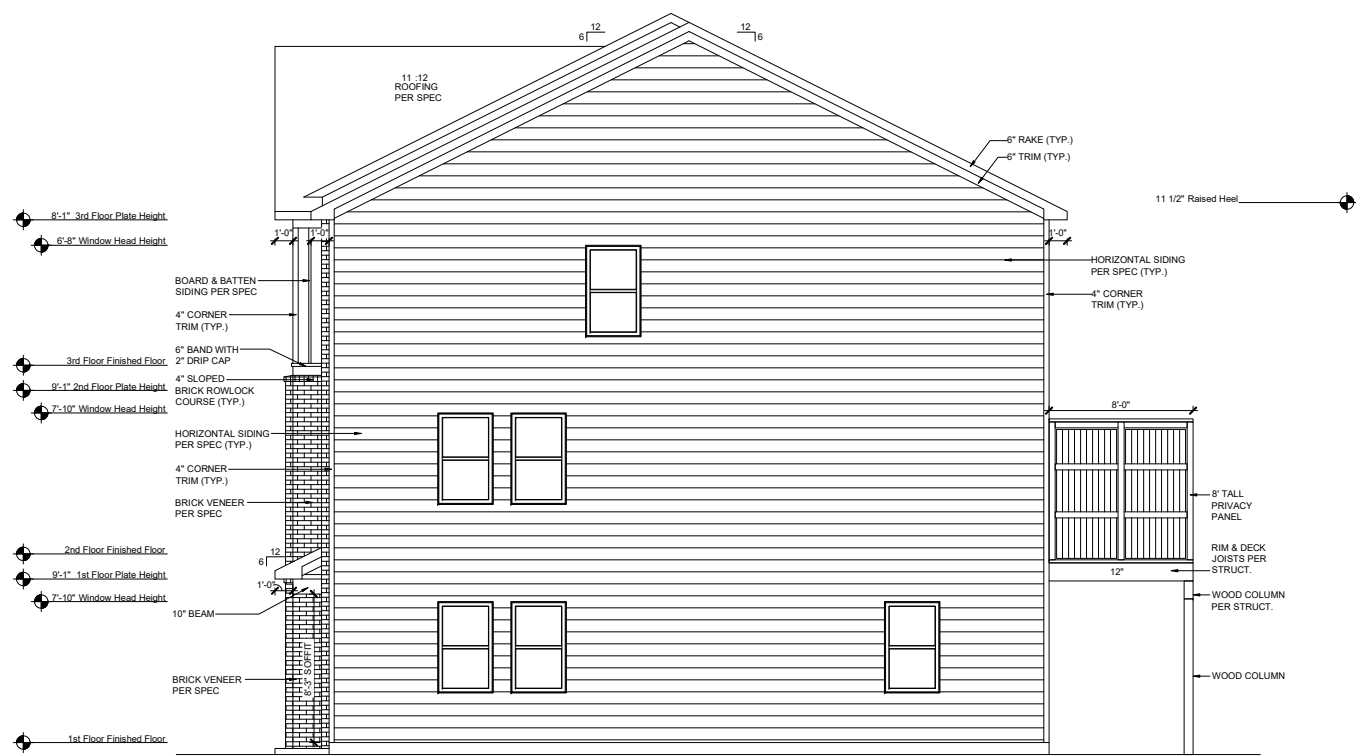
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Elevation Plans
Rear Elevations

drawn by: XSCAD
 checked by: JB
 date: 03-13-20
 sheet number:
A-4.1.1



**LEFT ELEVATION - 7 PLEX
(3-STORY)**
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

PLAN 202 FHL



**RIGHT ELEVATION - 7 PLEX
(3-STORY)**
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

PLAN 202 FHL

REV.	DATE

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1.0
Elevation Plans
Side Elevations

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sheet number:
A-4.2

LL 251

DISTRICT 18

DN

GN

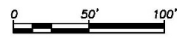
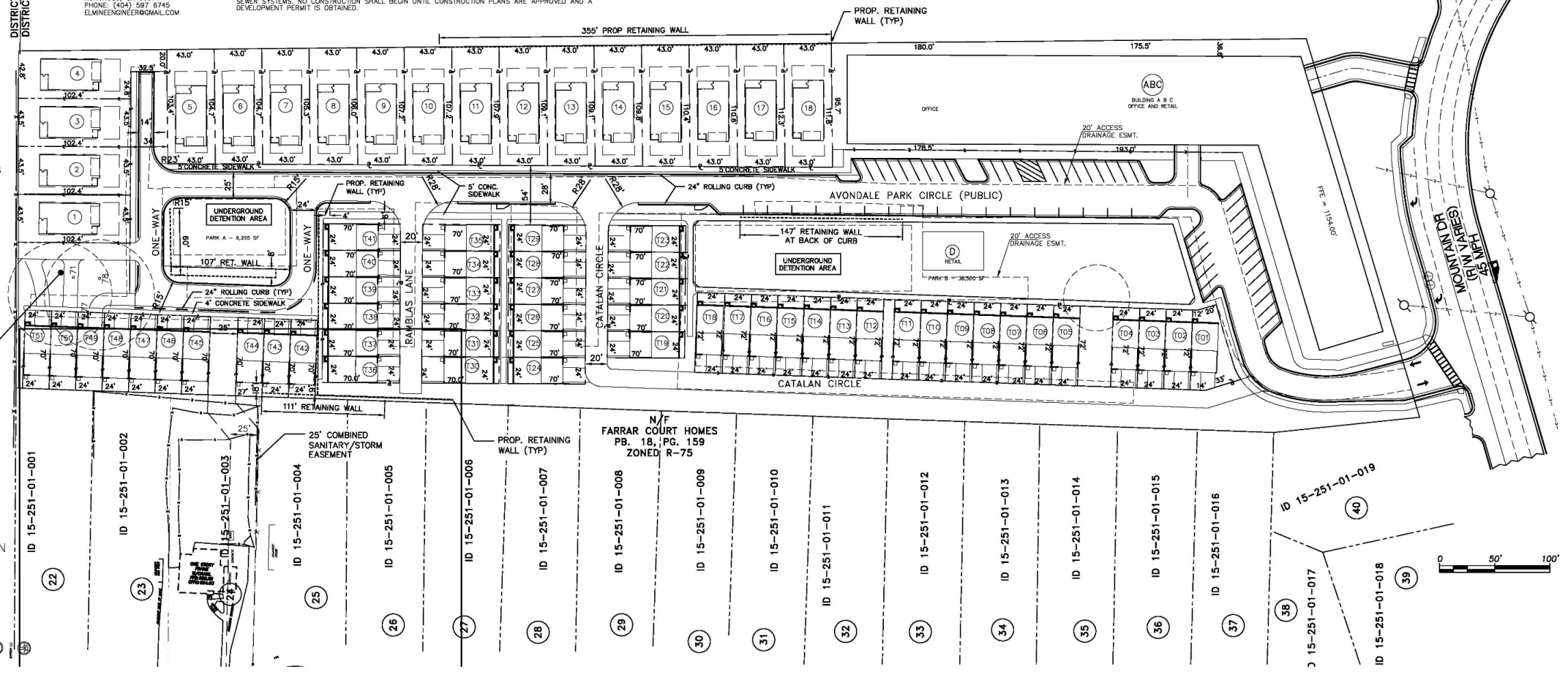
AVIUM, INC.
133 JOHNSON FERRY ROAD
MARIETTA, GA 30068
FELIPE CASTELLANOS (24 HR CONTACT)
PHONE: (404) 707 7775

ENGINEER:
EL MINA, INC.
SUITE 205
6082 BUFORD HWY
NORCROSS, GA 30071
PHONE: (404) 597 8745
ELMINENGINEER@GMAIL.COM

FERRERA DEVELOPERS
133 JOHNSON FERRY ROAD
MARIETTA, GA 30068
FELIPE CASTELLANOS (24 HR CONTACT)
PHONE: (404) 707 7775

NOTES:
1. A 75'-FOOT TRIBUTARY BUFFER WILL BE MAINTAINED ON ALL STATE WATERS THAT ARE NOT APPROVED FOR A BUFFER ENCROACHMENT VARIANCE BY DEKALB COUNTY OR GA. E.P.D.
2. SKETCH PLAN APPROVAL DOES NOT CONSTITUTE APPROVAL OF THE STORM DRAINAGE OR SANITARY SEWER SYSTEMS. NO CONSTRUCTION SHALL BEGIN UNTIL CONSTRUCTION PLANS ARE APPROVED AND A DEVELOPMENT PERMIT IS OBTAINED.

N/F
ARGO MEMORIAL DRIVE
ASSOCIATES
PARCEL 15-251-01-021
DB. 18297, PG. 586
ZONED C-1





MAIN FACADE Avondale Park
SCALE: 1/16" = 1'-0"



MAIN FACADE Mountain Drive
SCALE: 1/16" = 1'-0"

weikon partners llc
aljandro.arnas@weikonpartners.com TEL: 404 857 1389
133 Johnson Ferry Road suite 115 Marietta Georgia FAX 404 873 2167

PROPOSED OFFICE BUILDING
AVONDALE PARK
1010 AVONDALE PARK DR DECATUR, GA 30032

date:
NOV_12_2020

revised:

comm no.
1504

sheet no.
A-2B

of OF



APARTMENTS FLOOR PLAN
SCALE: 1/16" = 1'-0"

weikon partners llc
alejandro.arenas@weikonpartners.com
TEL: 404 857 1989
FAX: 404 973 2167
133 Johnson Ferry Road suite 115
Marietta Georgia

PROPOSED OFFICE BUILDING
AVONDALE PARK
1010 AVONDALE PARK DR DECATUR GA 30032

date:
NOV_12_2020

revised:

comm no.
1504

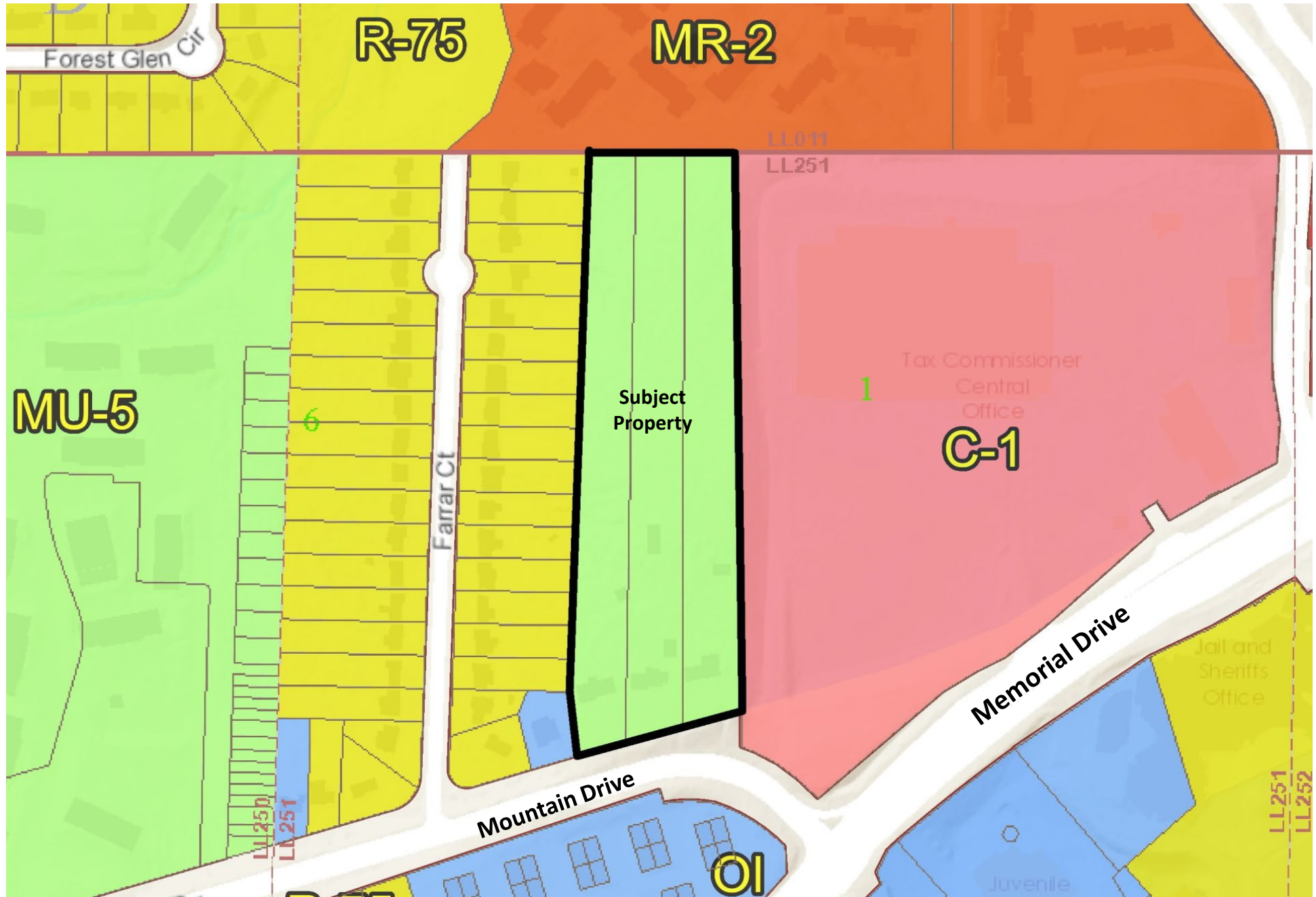
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A-2B
of OF

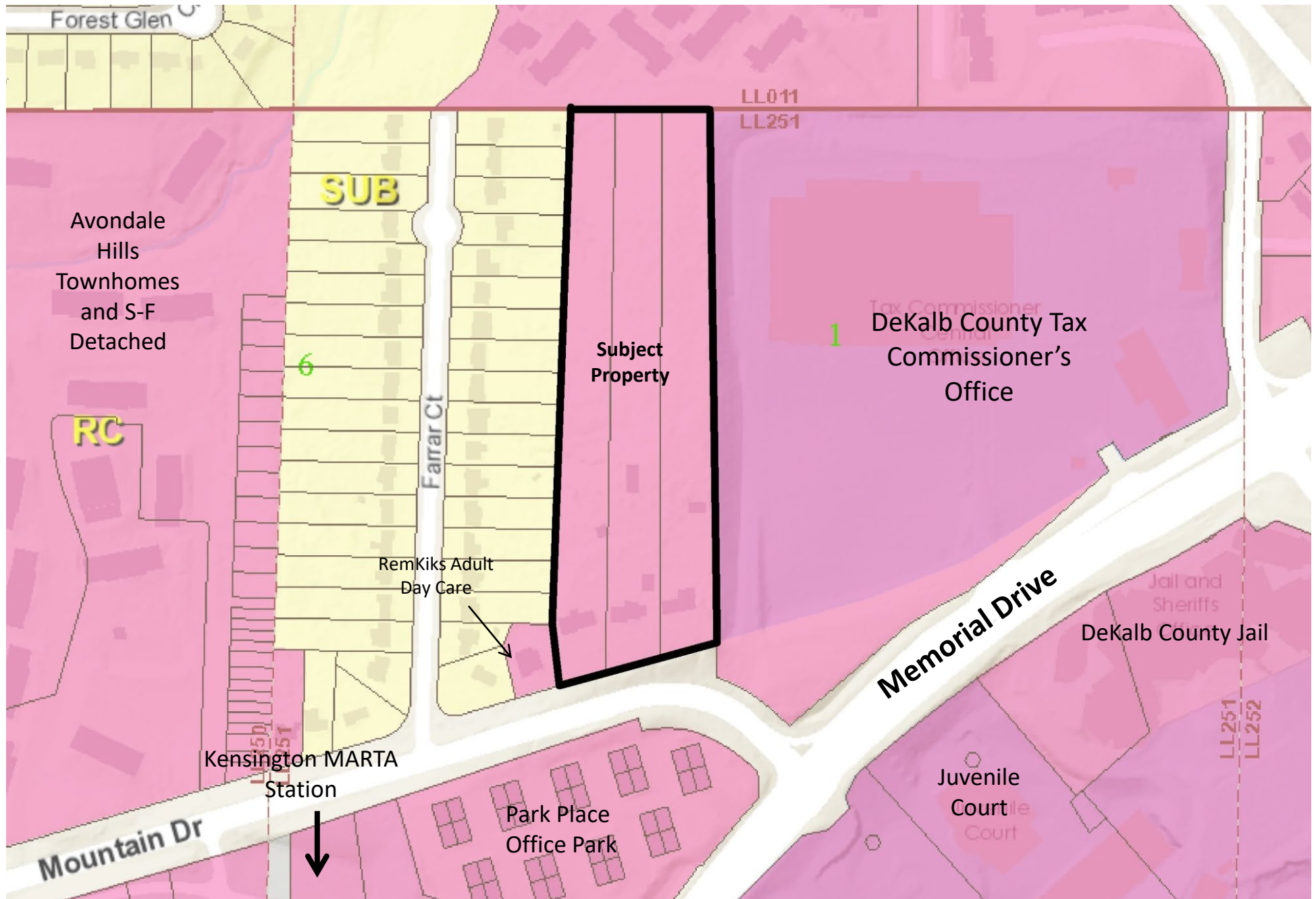
















Front of subject property on Mountain Drive.

East side of subject property, viewed from Mountain Drive.

